

BID SET, SEPTEMBER 2024

VILLAGE OF OXFORD OXFORD FIRE DEPARTMENT ROOF REPLACEMENT

20 MAIN STREET
OXFORD, NY 13830



ARCHITECTURAL
 LABELLA ASSOCIATES, D.P.C.
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SHEET LIST

GENERAL

G001	ARCHITECTURAL COVER SHEET
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ARCHITECTURAL

A001	NOTES, SYMBOLS & ABBREVIATIONS
AD101	ROOF DEMOLITION PLAN
AD201	EXTERIOR ELEVATIONS DEMOLITION
A100	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A501	ROOF DETAILS



ARCHITECT

Michael J. Hall, AIA, CDT

LABELLA ASSOCIATES DPC

2024.09.25
Date



PROJECT STATUS: BID
 ISSUE DATE: SEPTEMBER 24, 2024

CLIENT: VILLAGE OF OXFORD FD
 PROJECT #: 2210329

PROJECT NAME: OXFORD FIRE DEPARTMENT - ROOF REPLACEMENT
 PROJECT ADDRESS: 20 MAIN STREET
 OXFORD, NY 13830

LaBella
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GENERAL ARCHITECTURAL NOTES

- UNLESS OTHERWISE NOTED, ALL MASONRY DIMENSIONING IS NOMINAL TO FACE OF MASONRY. ALL NON-MASONRY DIMENSIONING IS TO FACE OF PARTITIONS OR WALLS AND ALL CONCRETE DIMENSIONING IS FACE TO FACE OF WALL.
- ALL DIMENSIONS ARE TO THE OUTSIDE FINISH SURFACE OF WALLS OR TO COLUMN CENTERLINES.
- ALL DIMENSIONS ARE FINISHES DIMENSIONS FROM FINISH FACE OF GYPSUM BOARD OR SCHEDULED WALL FINISH UNLESS OTHERWISE NOTED.
- PROVIDE CONCEALED BLOCKING IN ALL STUD PARTITIONS AND WALLS BEHIND SURFACE FOR SEMI-RECESSED, FULLY RECESSED OR SURFACE MOUNTED ACCESSORIES AND MILLWORK.
- DIMENSIONS NOTED AS "CLEAR" ARE TO FINISHED SURFACE AND ARE CRITICAL FOR ACCESSIBILITY REQUIREMENTS OR BUILT-IN FURNISHINGS.
- CONTRACTOR SHALL FIELD VERIFY FINISHED DIMENSIONS AND CLEARANCES IN SPACES INDICATED TO RECEIVE BUILT-IN FURNISHINGS OR CASEWORK PRIOR TO FABRICATION.
- ALL ENDS OF MASONRY WALLS THAT WILL BE EXPOSED TO VIEW UPON COMPLETION OF WORK SHALL BE PLAN END UNITS.
- FINISHED DOOR OPENINGS SHALL BE NOMINAL 6" FROM FINISHED CORNER OF ROOM EXCEPT WHERE DIMENSIONED OTHERWISE.
- SEALANT SHALL BE PROVIDED AT THE INTERIOR AND EXTERIOR PERIMETER OF ALL WINDOWS, DOOR FRAMES, LOUVERS OR OTHER ITEMS INSERTED IN AN EXTERIOR WALL.
- SUSPENDED GRID CEILINGS SHALL BE ARRANGED SO THAT A GRID IS SPACED EQUALLY FROM EACH MOST REMOTE WALL, IN EACH DIRECTION, WITH NO TILES LESS THAN 6" UNLESS OTHERWISE INDICATED.
- WOOD USED FOR BLOCKING OR OTHER PURPOSES ON OR ABOVE THE ROOF DECK, WITHIN 2'-0" OF GRADE AND IN OTHER LOCATIONS OUTSIDE THE BUILDING ENVELOPE WHERE EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED LUMBER OR PLYWOOD.
- INSTALL ALL WORK AS INDICATED AND VERIFY EXACT LOCATION AND ELEVATIONS ON THE JOB.
- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS AND SPECIFIED MATERIALS. CONTACT THE ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.
- COORDINATE ALL DOOR HARDWARE, TRIM AND FINISHES TO MEET INTENT AND COMPLIANCE.

15. **FIRST FLOOR LEVEL DATUM ELEVATION (0'-0") IS EQUAL TO ACTUAL ELEVATION (XX'-XX"). ARCHITECTURAL ELEVATIONS U.O.N. ARE TAKEN FROM FINISHED FIRST FLOOR LEVEL DATUM ELEVATION (0'-0").**

16. INTERIOR WALL AND CEILING FINISH MINIMAL REQUIREMENTS (FINISH CLASSIFICATIONS IN ACCORDANCE WITH ASTM E64) ARE AS FOLLOWS:
 VERTICAL EXITS AND EXIT PASSAGEWAYS - CLASS B
 EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS - CLASS C
 ROOMS AND ENCLOSED SPACES - CLASS C

17. TRUSS IDENTIFICATION SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH TITLE 19 NYCRR PART 1264 AND APPENDIX H OF THE FIRE CODE OF NEW YORK STATE 2010. TRUSS IDENTIFICATION SIGNS SHALL BE LOCATED AT BUILDING ENTRANCE DOORS, EXTERIOR DISCHARGE DOORS AND FIRE DEPARTMENT HOSE CONNECTIONS.

A. ATTACH SIGN TO FACE OF DOOR, OR ATTACHED TO A SIDELIGHT OR FACE OF THE BUILDING NOT MORE THAN 12 INCHES HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42 INCHES NOR MORE THAN 60 INCHES ABOVE THE ADJOINING WALKING SURFACES.

B. ATTACH SIGN AT EACH END OF A ROW OF DOORS AT A MAXIMUM HORIZONTAL DISTANCE OF 12 FEET BETWEEN SIGNS, AND NOT LESS THAN 42 INCHES NOR MORE THAN 60 INCHES ABOVE THE ADJOINING WALKING SURFACE.

C. AT FIRE DEPARTMENT HOSE CONNECTIONS ATTACH TO THE FACE OF BUILDING, NOT MORE THAN 12 INCHES HORIZONTALLY FROM THE CENTER LINE OF THE FIRE DEPARTMENT HOSE CONNECTION, AND NOT LESS THAN 42 INCHES NOR MORE THAN 60 INCHES ABOVE THE ADJOINING WALKING SURFACE.

D. SIGNS IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONSIST OF A CIRCLE 6 INCHES IN DIAMETER, WITH A STROKE WIDTH OF 1/2 INCH. THE SIGN BACKGROUND SHALL BE REFLECTIVE WHITE IN COLOR. THE CIRCLE AND CONTENTS SHALL BE REFLECTIVE RED IN COLOR, CONFORMING TO PANTONE MATCHING SYSTEM (PMS) # 187. WHERE A SIGN IS DIRECTLY APPLIED TO A DOOR OR SIDELIGHT, IT MAY BE A PERMANENT STICKER OR DECAL. SIGNS NOT DIRECTLY APPLIED TO DOORS OR SIDELIGHTS SHALL BE STURDY, NON-FADING, WEATHER RESISTANT MATERIAL.

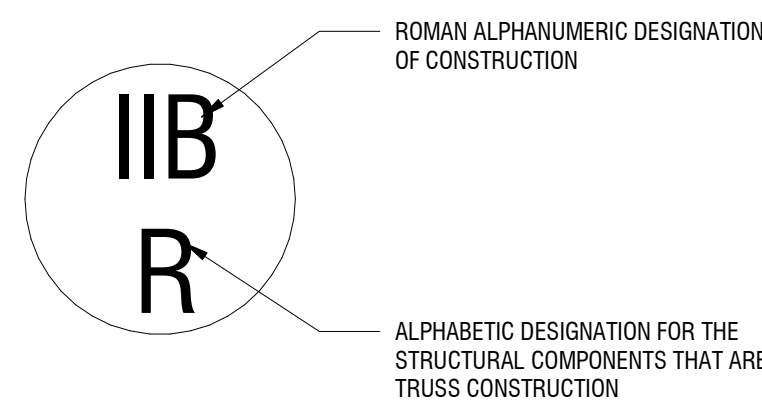
F. SIGNS SHALL CONTAIN THE ROMAN ALPHANUMERIC DESIGNATION OF THE CONSTRUCTION TYPE OF THE BUILDING, IN ACCORDANCE WITH THE PROVISIONS FOR THE CLASSIFICATION OF TYPES SET FORTH IN SECTION 602 OF THE BUILDING CODE OF NEW YORK STATE 2010, AND AN ALPHABETIC DESIGNATION FOR THE STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION AS FOLLOWS:

*"F" SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS

*"R" SHALL MEAN ROOF FRAMING

*"FR" SHALL MEAN FLOOR AND ROOF FRAMING

G. THE CONSTRUCTION TYPE DESIGNATION SHALL BE PLACED AT TWELVE O'CLOCK POSITION OVER THE STRUCTURAL COMPONENT DESIGNATION, WHICH SHALL BE PLACED AT THE SIX O'CLOCK POSITION. REFER TO FOLLOWING SYMBOL FOR THIS BUILDING:



LINE TYPES

- SOLID LINE: VISIBLE ITEMS
- DASHED LINE: CENTER LINE OR COLUMN GRID
- DOTTED LINE: HIDDEN OR NOT IN CONTRACT
- WAVE LINE: BREAK LINE
- DASHED LINE WITH WAVE: OVERHEAD

WALL/ PARTITION DESIGNATIONS

- BRICK FACE
- C.M.U. WALL / PARTITION - SEE PARTITION TYPES
- METAL STUD PARTITION - SEE PARTITION TYPES
- EXISTING WALL CONSTRUCTION

ARCHITECTURAL ABBREVIATIONS

A	Area
AB:	Anchor Bolt
ABV:	Above
ACC:	Access
ACOUST:	Acoustical
ACR:	Acrylic
ACST:	Acoustic
ACT:	Acoustical Tile
AD:	Access Door
ADH:	Adhesive
ADJ:	Adjust, Adjustable, Adjacent
AFF:	Above Finished Floor
AGGR:	Aggregate
ALT:	Alternate
ALUM:	Aluminum
ANOD:	Anodized
AP:	Access Panel
APPROX:	Approximate
ATC:	Acoustical Tile Ceiling

B	Bedroom
BDRM:	Bedroom
BETW:	Between
BF:	Base of Foot
BIT:	Bituminous
BLDG:	Building
BLKG:	Blocking
BOT:	Bottom
BPL:	Bearing Plate
BRG:	Bearing
BRK:	Brick
BRZ:	Bronze
BS:	Both Sides
BSMT:	Basement
BUR:	Built-up Roof

C	Center to Center
C/C:	Center to Center
CAB:	Cabinet
CAR:	Carpet
CAV:	Cavity
CCW:	Counter Clockwise
CCTV:	Closed Circuit TV
CEM:	Cement
CER:	Ceramic
CF:	Cubic Feet
CHAM:	Chamber
CJ:	Control Joint
CK:	Caulking
CL:	Centerline
CLG:	Ceiling
CLK:	Caulking
CLR:	Clear
CLR OPG:	Clear Opening
CMT:	Ceramic Mosaic Tile
CMU:	Concrete Masonry Unit
COL:	Column
CONC:	Concrete
CONSTR:	Construction
CONT:	Continuous
CONTR:	Contractor
COP:	Copper
COPR:	Copper
CPT:	Carpet
CT:	Ceramic Tile
CW:	Clockwise

D	Double
DBL:	Double
DEG:	Degree
DEMO:	Demolition
DF:	Drinking Fountain
DIAG:	Diagonal
DIA:	Diameter
DIAM:	Diameter
DIFF:	Diffuser
DN:	Down
DR:	Door
DWG:	Drawing
DWGS:	Drawings
DWR:	Drawer

E	Each
EA:	Each
EB:	Expansion Bolt
EE:	Each End
EF:	Each Face
EIFS:	Exterior Insulation and Finish System
EJ:	Expansion Joint
EL:	Elevator
ELEC:	Electrical
ELEV:	Elevator, Elevation
ENCL:	Enclosure
EPDM:	Ethylene Propylene Diene Monomer
EQ:	Equal
EQUIP:	Equipment
ETR:	Existing To Remain
EW:	Each Way
ENG:	Existing
EXH:	Exhaust
EXIST:	Existing
EXP:	Exposed

G	Gauge, Gage
GA:	Gauge, Gage
GALV:	Galvanized
GC:	General Contractor
GL:	Glass
GL BLK:	Glass Block
GRND:	Ground
GRTG:	Grating
GVL:	Gravel
GYP:	Gypsum
GYP BD:	Gypsum Board

H	Handicapped (better called "Accessible")
HDCP:	Handicapped (better called "Accessible")
HDW:	Hardware
HDWD:	Hardwood
HGT:	Height
HM:	Hollow Metal
HORIZ:	Horizontal
HR:	Hour
HWD:	Hardwood

I	Inside Diameter
ID:	Inside Diameter
IN:	Inch
INCL:	Include
INFO:	Information
INSL:	Insulation
INSUL:	Insulation
INT:	Intermediate
INTERM:	Intermediate

J	Janitor
JAN:	Janitor
JC:	Janitor's Closet
JT:	Joint

L	Laboratory, Labor
LAB:	Laboratory, Labor
LAV:	Lavatory
LB:	Pound (weight)
LBL:	Label
LINO:	Linoleum
LNTL:	Lintel

M	Maintenance
MAINT:	Maintenance
MAN:	Man
MAR:	Marble
MARB:	Marble
MAS:	Masonry
MAT:	Material
MATL:	Material
MAX:	Maximum
MECH:	Mechanical
MEMB:	Membrane
MFR:	Manufacturer
MFG:	Manufacturer, Manufacturing
MFR:	Manufacturer, Manufacturer
MI:	Malleable Iron, Miles
MIKE:	Microphone
MIN:	Minimum
MIR:	Mirror
MISC:	Miscellaneous
MK:	Mark
MLP:	Metal Lath & Plaster
MLD:	Molding
MLDG:	Molding
MM:	Millimeter
MMB:	Membrane
MO:	Masonry Opening
MOD:	Module
MONO:	Monolithic
MOV:	Movable
MP:	Metal Acoustical Panel
MPS:	Medium Pressure Steam
MRS:	Miss Receptor
MRD:	Metal Roof Deck
MT:	Mount, Mounted
MTD:	Mounted
MTL:	Material, Metal
MTR:	Motor
MUL:	Mullion
MULL:	Mullion
MV:	Mercury Vapor
MWP:	Maximum Working Pressure
MWK:	Milwork

N	North, Nitrogen
N:	North, Nitrogen
NAP:	Napkin
NAT:	Natural
NATL:	Natural
NB:	"Nota Bene" Latin phrase for "Take Special Note"
NC:	Normally Closed, Noise Criteria
NEC:	National Electrical Code
NEUT:	Neutral
NF:	Near Face
NFWH:	Non-freeze Wall Hydrant
Ni:	Nickel
NIC:	Not In Contract
NK:	Neck
NMT:	Non-Metallic
NO:	Number, Normally Open
NOM:	Nominal
NR:	Noise Reduction
NRC:	Noise Reduction Coefficient
NTS:	Not To Scale

O	Obscure
OB:	Obscure
OBS:	Obscure
OC:	On Center
OD:	Outside Diameter
OF:	Outside Face
OFF:	Office
OH:	Overhead
OHD:	Overhead Door
OPNG:	Opening
OPP:	Opposite
OPP H:	Opposite Hand

P	Plastic Laminate
P. LAM:	Plastic Laminate
PAR:	Parallel
PBD:	Particle Board
PERIM:	Perimeter
PERP:	Perpendicular
PL:	Plate
PLBG:	Plumbing
PLWD:	Plywood
PLUMB:	Plumbing
PR:	Pair
PREFAB:	Prefabricated
PRES:	Pressure
PRES:	Pressure
PRLMD:	Premolded
PRTN:	Partition
PSF:	Pounds per square foot
PT:	Pounds per square inch
PAINT:	Paint
PTD:	Painted, Paper Towel Dispenser
PTD/R:	Combination Paper Towel Dispenser/Receptacle
PTN:	Partition

Q	Quality
QUAL:	Quality
QT:	Quarry Tile, Quart
QTY:	Quantity

R	Rubber Base
RB:	Rubber Base
RCP:	Reflected Ceiling Plan
RD:	Roof Drain, Round, Receptacle Distribution Panel
REBAR:	Reinforcing Bar
REF:	Refer, Reference, Refrigerator
REFL:	Reflected
REFR:	Refrigerate, Refrigerator
REINF:	Reinforcement, or Reinforce
REDD:	Required
RESIL:	Resilient
RF:	Roof
RGH:	Rough
RGH OPG:	Rough Opening
RO:	Rough Opening
RT:	Rubber Tile

S	Salvage
SALV:	Salvage
SCHED:	Schedule
SF:	Schedule
SHT:	Sheet
SHT:	Sheet
SPEC:	Specification, Specifications
SPECS:	Specifications
MAS:	Masonry
SS:	Stainless Steel
STC:	Sound Transmission Class
STD:	Standard
STL:	Steel
STOR:	Storage
STRT:	Straight
STRUC:	Structural
STRUC:	Structural
SUR:	Surface
SUSP:	Suspended, Suspend

T	Unfinished
UNFIN:	Unfinished
UNO:	Unless Noted Otherwise
UNO:	Unless Otherwise Noted
UP:	Unglazed
UR:	Unrail

V	Vinyl Asbestos Tile
VAT:	Vinyl Asbestos Tile
VBC:	Vinyl Base (Cover)
VCT:	Vinyl Composition Tile
VERT:	Vertical
VEST:	Vestibule
VF:	Verify In The Field
VT:	Vinyl Tile
VTR:	Vent Through Roof
VWC:	Vinyl Wall Covering

W	With
W:	With
W/O:	Without
WAINS:	Wainscot
WC:	Watercloset
WD:	Wood

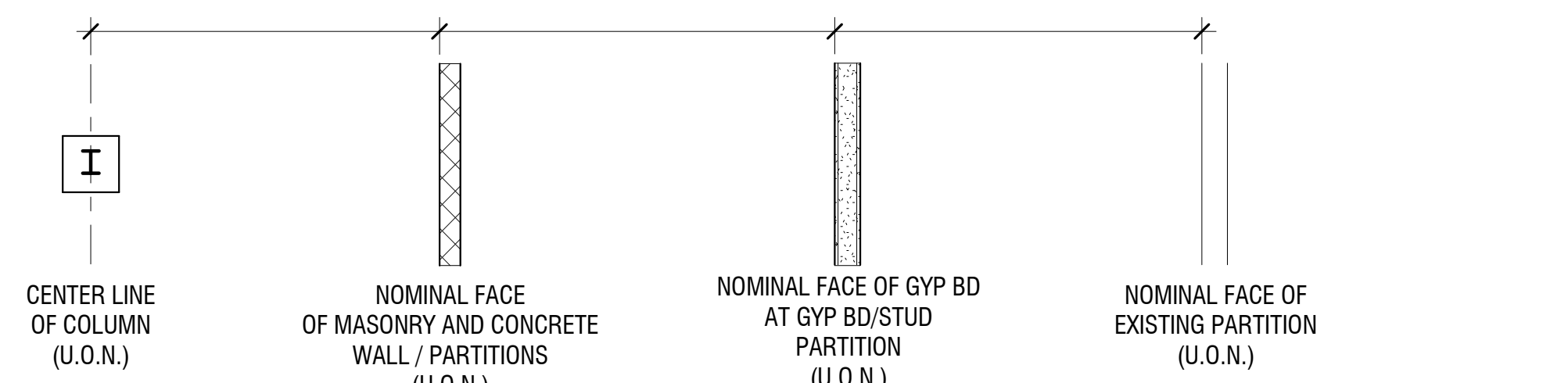
MATERIAL SYMBOLS

	CONCRETE MASONRY UNITS (CMU)		WOOD (FINISHED)		RIGID INSULATION
	CONCRETE		WOOD (ROUGH)		BATT. OR LOOSE INSULATION
	BRICK		WOOD (BLOCKING)		EARTH
	CEMENT, SAND, GROUT, PLASTER, OR GYPSUM WALL BOARD		PARTICLE BOARD		CARPET
	STEEL		PLYWOOD		STONE, GRAVEL, OR POROUS FILL

ARCHITECTURAL DRAWINGS SYMBOLS

	MATCH LINE		BUILDING SECTIONS
	ELEVATION LINE		WALL SECTIONS
	COLUMN LINE REFERENCES		DETAIL SECTIONS
	DOOR TAGS		EXTERIOR ELEVATIONS
	ROOM TAG		INTERIOR ELEVATIONS
	WINDOW TAG/LOUVER TAG		DETAIL CALL OUTS
	WALL TYPE		REVISION SYMBOL AND CLOUD
	DEMO KEYNOTE		
	PLAN/ELEVATION KEYNOTE		
	FINISH KEYNOTE		

TYPICAL PLAN DIMENSIONING



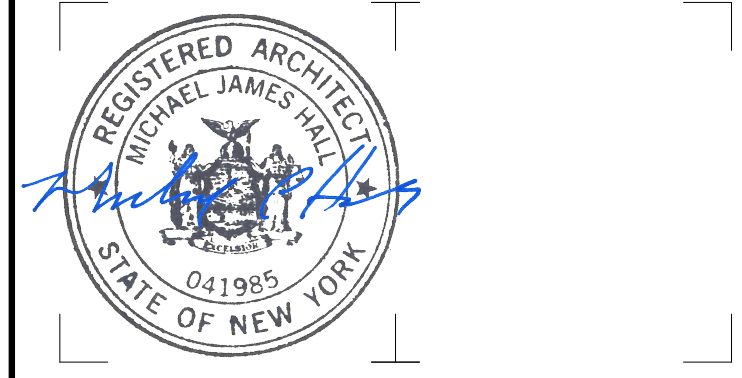
GENERAL REMOVAL NOTES:

- DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE.
- ELEMENTS TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE, DUST AND DEBRIS.
- DUST CONTROL SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PERFORM CLEAN UP OF ALL REFUSE, RUBBISH, SCRAP MATERIALS AND DEBRIS CAUSED BY THE WORK ON A DAILY BASIS. CLEANING OF AREA SURROUNDING THE WORK AREA WHERE CONSTRUCTION DEBRIS OR DUST ACCUMULATES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO MAINTAIN WATER TIGHT INTEGRITY OF BUILDING AT ALL TIMES.
- EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED. CONTRACTORS ARE RESPONSIBLE FOR EXAMINING THE BUILDING AND VERIFYING EXISTING CONDITIONS AND ARE TO CONTACT THE OWNER REPRESENTATIVE REGARDING ANY DISCREPANCIES.
- DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL ITEMS INDICATED TO BE REMOVED AND/OR SALVAGED, AND LEGAL DISPOSAL OF ITEMS NOT INTENDED FOR SALVAGE. WORK SHALL ALSO INCLUDE REMOVAL OF ALL MINOR SUPPORTS, BRACKETS, FASTENERS, CONDUITS, PIPING, AND SIMILAR ITEMS WHICH ARE NOT INDICATED TO REMAIN.
- EXISTING ROOF SYSTEM TO BE REMOVED (UNLESS NOTED OTHERWISE) IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, EXISTING MEMBRANES, UNDERLAYMENT, FLASHINGS, DRIP EDGES, METAL FASCIA, GUTTERS AND DOWNSPOUTS. EXISTING PLYWOOD ROOF SHEATHING AND METAL DECK TO REMAIN. GENERAL CONTRACTOR TO ASSURE 10% OF ALL EXISTING PLYWOOD SUBSTRATE WILL REQUIRE REPLACEMENT DUE TO POTENTIAL UNFORESSEEN PLYWOOD DETERIORATION OR DAMAGE.
- ALL EXISTING ROOF TOP EQUIPMENT, INCLUDING, BUT NOT LIMITED TO, PIPE VENTS, EXHAUST FANS, ANTENNAS, ETC SHALL BE SALVAGED AND PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE A PROPOSAL TO THE OWNER FOR SAMPLE COLLECTION AND TESTING OF (5) EXISTING ROOFING CORES TO BE PERFORMED BY A CERTIFIED REGULATED BUILDING MATERIALS COMPANY. SAMPLE COLLECTION TO BE TAKEN AND TESTED PRIOR TO THE REMOVAL OF THE EXISTING ROOFING SYSTEM.

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION SHALL CONFORM TO THE "NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE", LATEST REVISION, THE NEW YORK STATE ENERGY CODE AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THE PROJECT IS BEING CONSTRUCTED.
- CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTORS ARE RESPONSIBLE FOR ALL MATERIALS, CONSTRUCTION METHODS AND CRAFTSMANSHIP.
- CONTRACTORS ARE TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, CODES AND DIMENSIONS, PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM THOSE SHOWN ON THE DOCUMENTS.
- WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTORS SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES, UNLESS OTHERWISE NOTED.
- CONTRACTORS PROVIDE ALL BLOCKING, FURRING AND SHIMMING FOR INSTALLATION AND COMPLETION OF WORK.
- ALL NEW WORK SHALL BE PLUMB, LEVEL AND SQUARE. SCRIBE AND MAKE FIT ALL NEW TO EXISTING.
- CONTRACTORS VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIAL OR DOING WORK. NO EXTRA COMPENSATION OR CHARGES WILL BE ACCEPTED DUE TO DIFFERENCES BETWEEN THE ACTUAL MEASUREMENTS AND MEASUREMENTS INDICATED ON THE DRAWINGS.
- ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY ARCHITECT OF SAME.
- NO SITE VISITS WILL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND COMPLETION OF COMPLIANT WORK.
- THESE DRAWINGS DO NOT PURPORT TO SHOW ALL ITEMS AND PROCEDURES REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE GENERAL ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ELEMENTS OF CONSTRUCTION.
- CONTRACTORS ARE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS ASSOCIATED WITH THE WORK OF THEIR CONTRACT.
- ITEMS NOTED AS "BY OWNER" ARE TO BE FURNISHED AND INSTALLED BY THE OWNER OR THE OWNER'S VENDOR.

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CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 018281
LAND SURVEYING: 01976
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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OXFORD FIRE DEPARTMENT - ROOF REPLACEMENT

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NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2210329

DRAWN BY: JAL

REVIEWED BY: MJH

ISSUED FOR: BID

DATE: SEPTEMBER 24, 2024



(A) EXISTING PHOTO - MAIN ROOF I



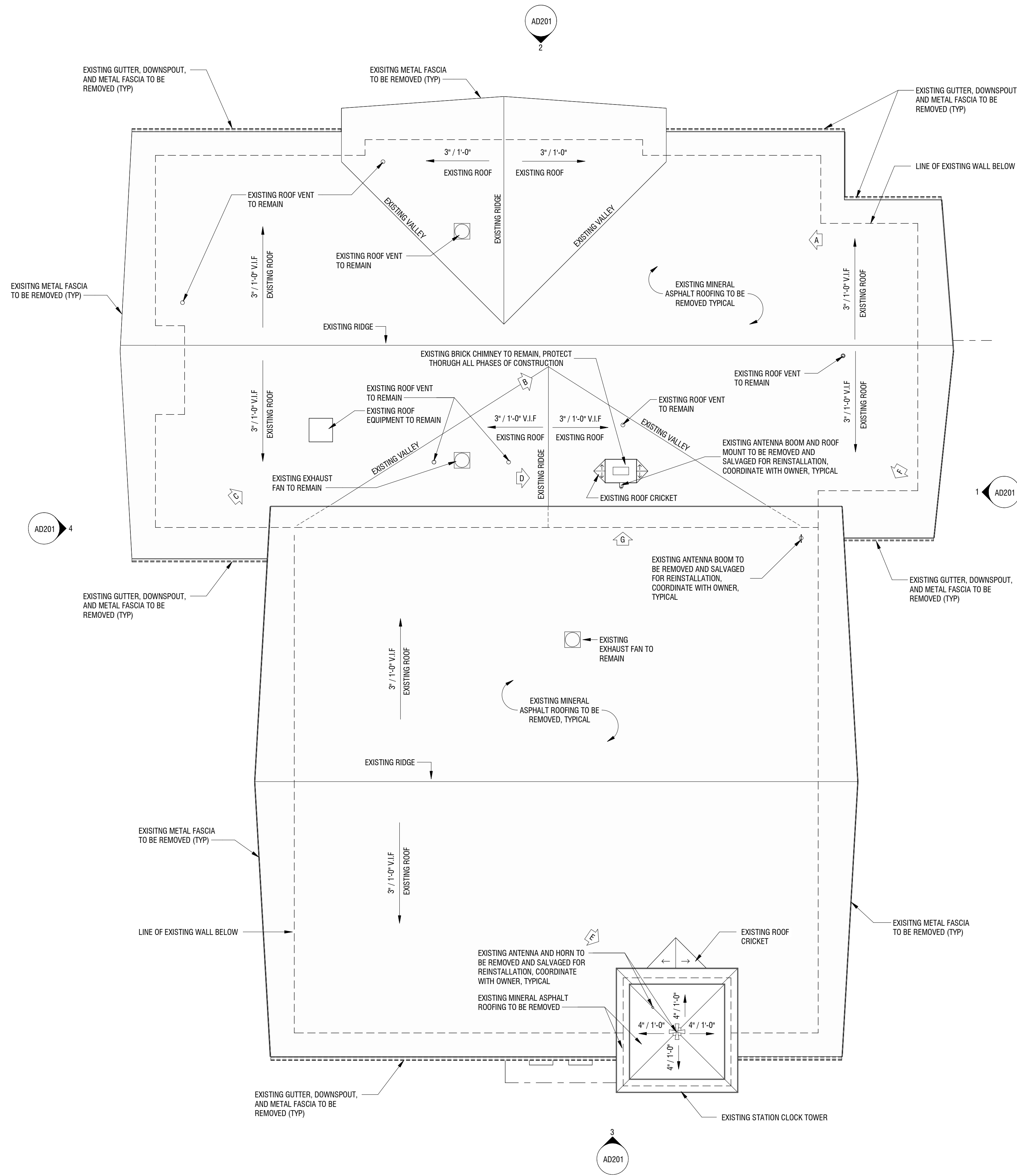
(B) EXISTING PHOTO - MAIN ROOF II



(C) EXISTING PHOTO - MAIN ROOF III



(D) EXISTING PHOTO - MAIN ROOF IV & CHIMNEY

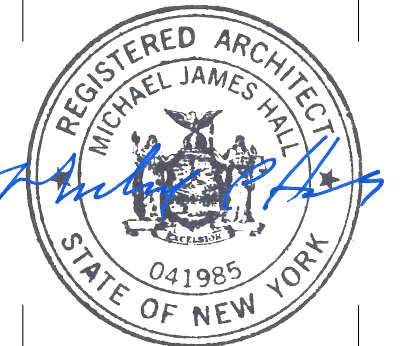


GENERAL REMOVAL NOTES:

1. DASHED LINES INDICATE ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE.
2. ELEMENTS TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE, DUST AND DEBRIS.
3. DUST CONTROL SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PERFORM CLEAN UP OF ALL REFUSE, RUBBISH, SCRAP MATERIALS AND DEBRIS CAUSED BY THE WORK ON A DAILY BASIS. CLEANING OF AREA SURROUNDING THE WORK AREA WHERE CONSTRUCTION DEBRIS OR DUST ACCUMULATES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTOR TO MAINTAIN WATER TIGHT INTEGRITY OF BUILDING AT ALL TIMES.
5. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED. CONTRACTORS ARE RESPONSIBLE FOR EXAMINING THE BUILDING AND VERIFYING EXISTING CONDITIONS AND ARE TO CONTACT THE OWNER REPRESENTATIVE REGARDING ANY DISCREPANCIES.
6. DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL ITEMS INDICATED TO BE REMOVED AND/OR SALVAGED, AND LEGAL DISPOSAL OF ITEMS NOT INTENDED FOR SALVAGE. WORK SHALL ALSO INCLUDE REMOVAL OF ALL MINOR SUPPORTS, BRACKETS, FASTENERS, CONDUITS, PIPING, AND SIMILAR ITEMS WHICH ARE NOT INDICATED TO REMAIN.
7. EXISTING ROOF SYSTEM TO BE REMOVED (UNLESS NOTED OTHERWISE) IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, EXISTING MEMBRANES, UNDERLAYMENT, FLASHINGS, DRIP EDGES, METAL FASCIAS, GUTTERS AND DOWNSPOUTS. EXISTING PLYWOOD ROOF SHEATHING AND METAL DECK TO REMAIN. GENERAL CONTRACTOR TO ASSUME 10% OF ALL EXISTING PLYWOOD SUBSTRATE WILL REQUIRE REPLACEMENT DUE TO POTENTIAL UNFORESEEN PLYWOOD DETERIORATION OR DAMAGE.
8. ALL EXISTING ROOF TOP EQUIPMENT, INCLUDING, BUT NOT LIMITED TO, PIPE VENTS, EXHAUST FANS, ANTENNAS, ETC SHALL BE SALVAGED AND PROTECTED DURING ALL PHASES OF CONSTRUCTION.
9. GENERAL CONTRACTOR TO PROVIDE A PROPOSAL TO THE OWNER FOR SAMPLE COLLECTION AND TESTING OF (5) EXISTING ROOFING CORES TO BE PERFORMED BY A CERTIFIED REGULATED BUILDING MATERIALS COMPANY. SAMPLE COLLECTION TO BE TAKEN AND TESTED PRIOR TO THE REMOVAL OF THE EXISTING ROOFING SYSTEM.

ROOF REMOVAL LEGEND:

- EXHAUST FAN DETAIL
- ROOF VENT
- DOWNSPOUT LOCATION
- EXISTING PHOTO DIRECTION



EXP: 12.31.2024

CERTIFICATE OF AUTHORIZATION NUMBER:
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LAND SURVEYING: 017976
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NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2210329

DRAWN BY: JAL

REVIEWED BY: MJH

ISSUED FOR: BID

DATE: SEPTEMBER 24, 2024

DRAWING NAME:

ROOF DEMOLITION PLAN

DRAWING NUMBER:

AD101



EXP: 12.31.2024

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 018281
LAND SURVEYING: 017976
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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VILLAGE OF OXFORD FD

20 MAIN STREET
OXFORD, NY 13830



**OXFORD FIRE DEPARTMENT -
ROOF REPLACEMENT**

20 MAIN STREET
OXFORD, NY 13830

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Revisions		

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REVIEWED BY: MJH

ISSUED FOR: BID

DATE: SEPTEMBER 24, 2024

DRAWING NAME:

**EXTERIOR ELEVATIONS
DEMOLITION**

DRAWING NUMBER:

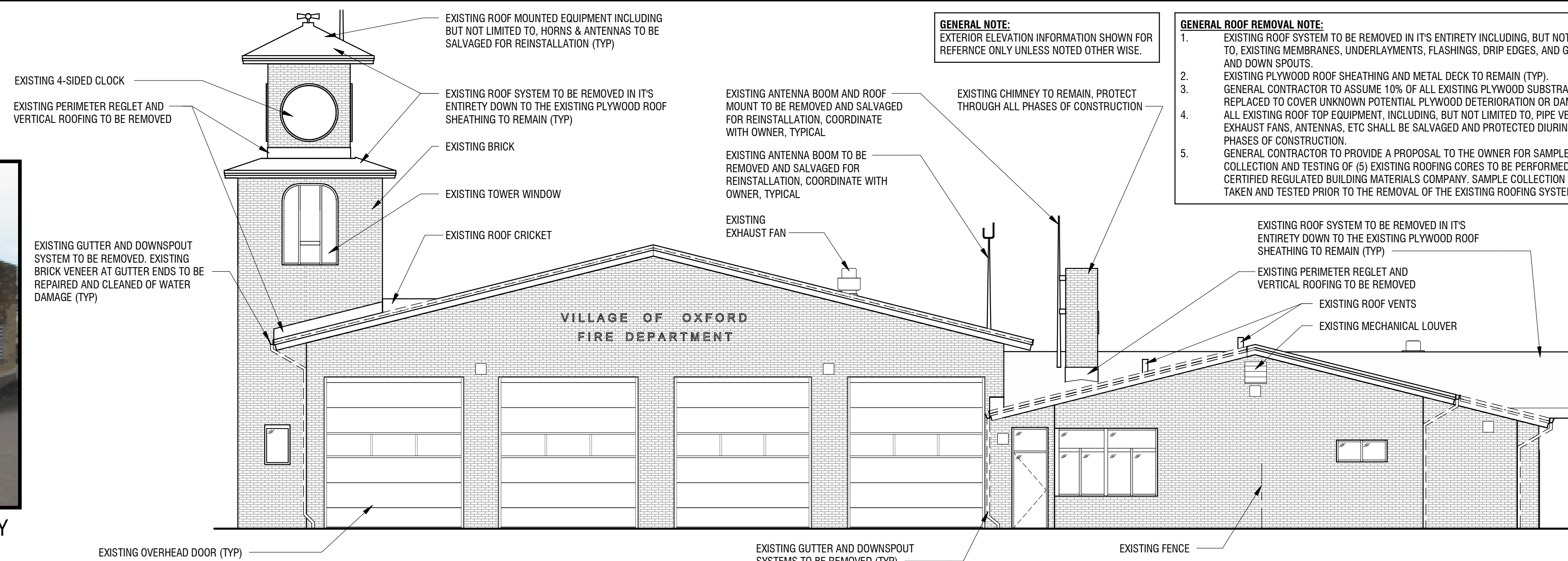
AD201



E EXISTING PHOTO - CLOCK TOWER

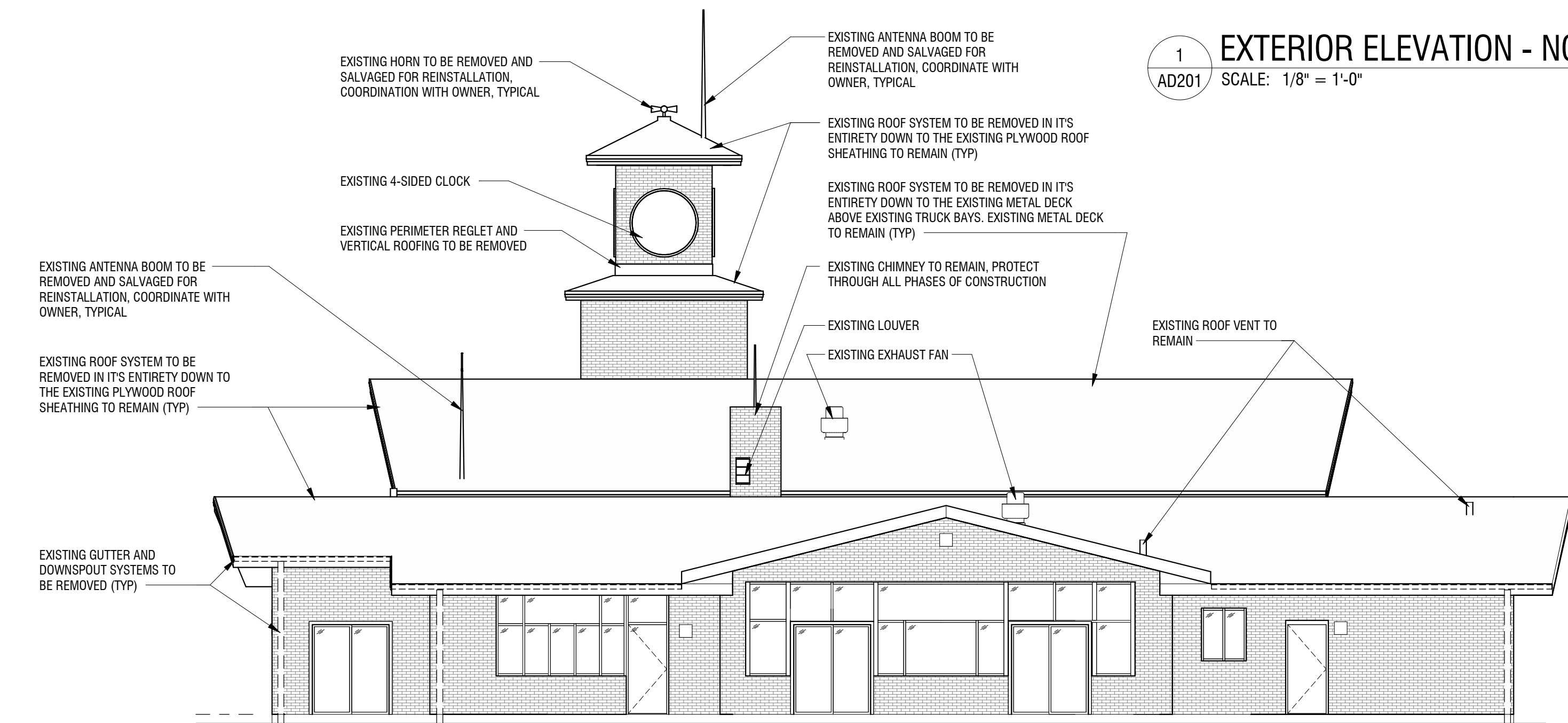


F EXISTING PHOTO - CLOCK TOWER & CHIMNEY



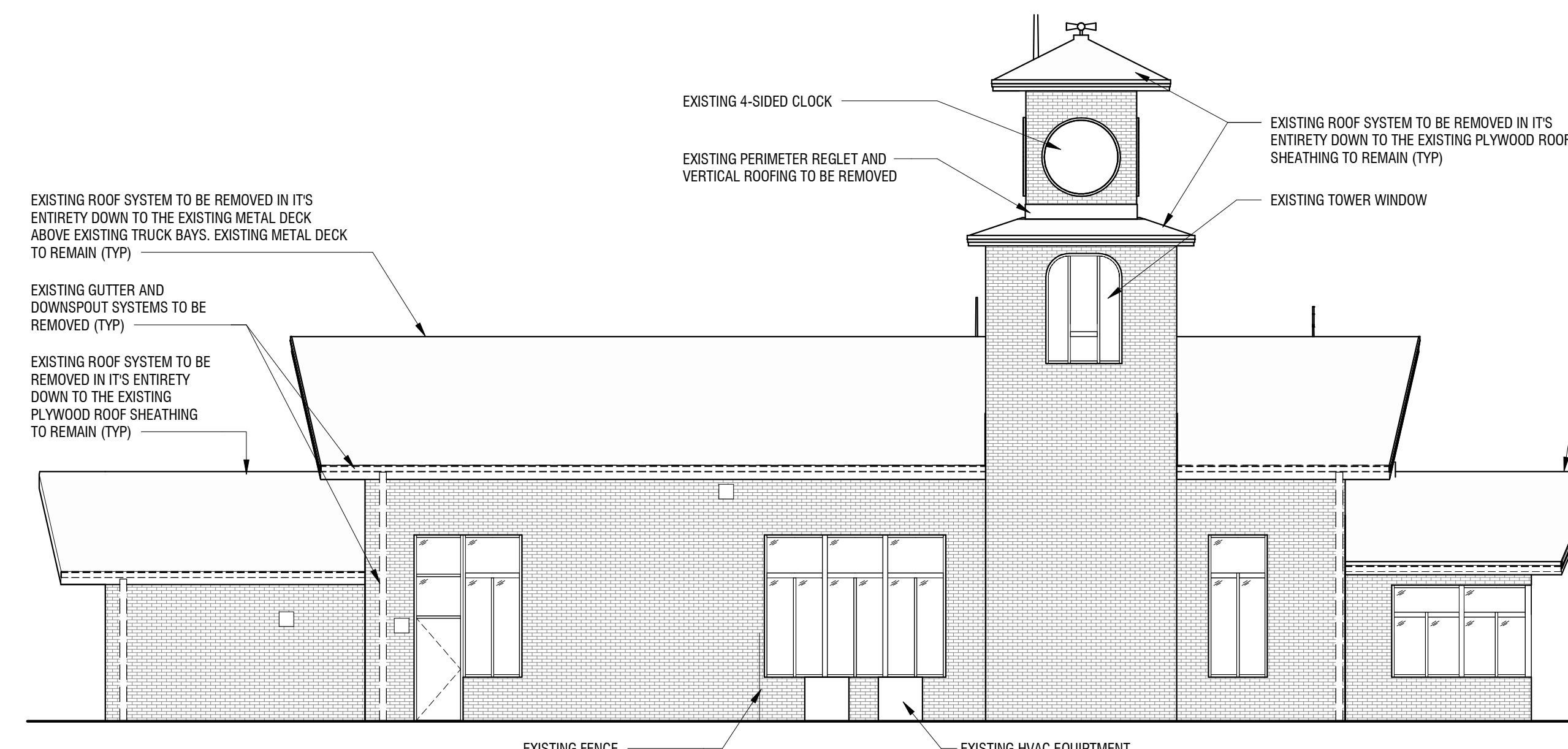
1 EXTERIOR ELEVATION - NORTHEAST REMOVAL

AD201 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - NORTHWEST REMOVAL

AD201 SCALE: 1/8" = 1'-0"

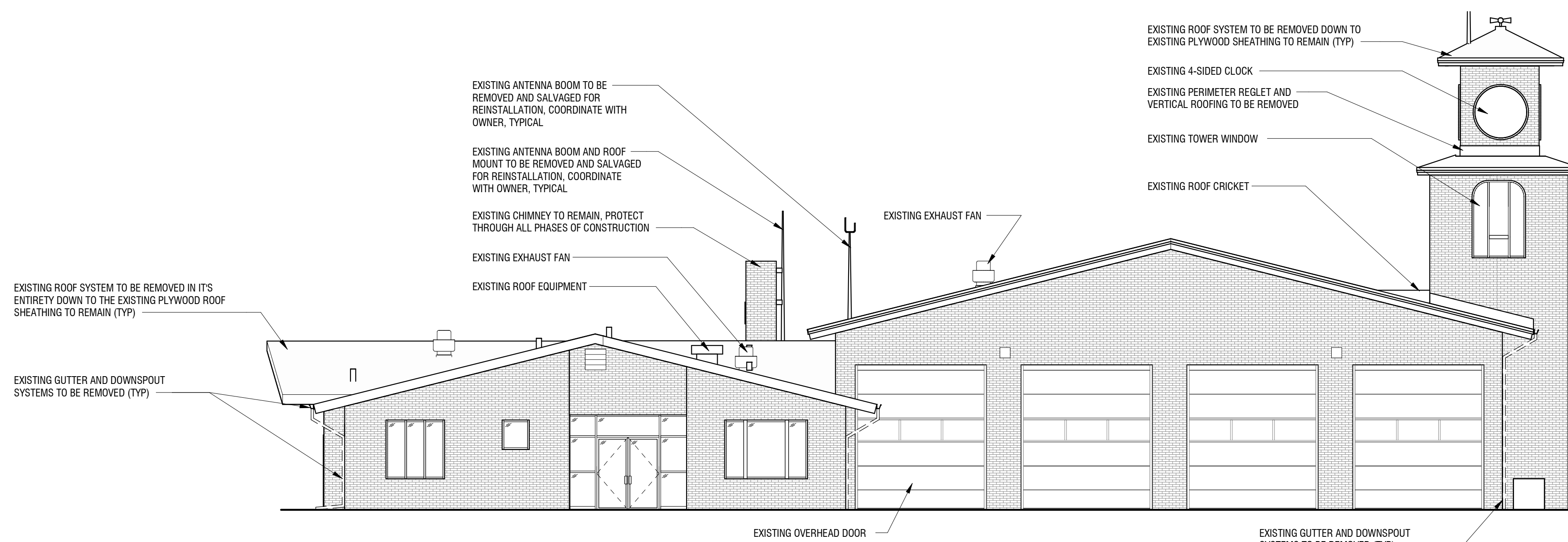


3 EXTERIOR ELEVATION - SOUTHEAST REMOVAL

AD201 SCALE: 1/8" = 1'-0"



G EXISTING PHOTO - CHIMNEY



4 EXTERIOR ELEVATION - SOUTHWEST REMOVAL

AD201 SCALE: 1/8" = 1'-0"



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EXTERIOR ELEVATIONS

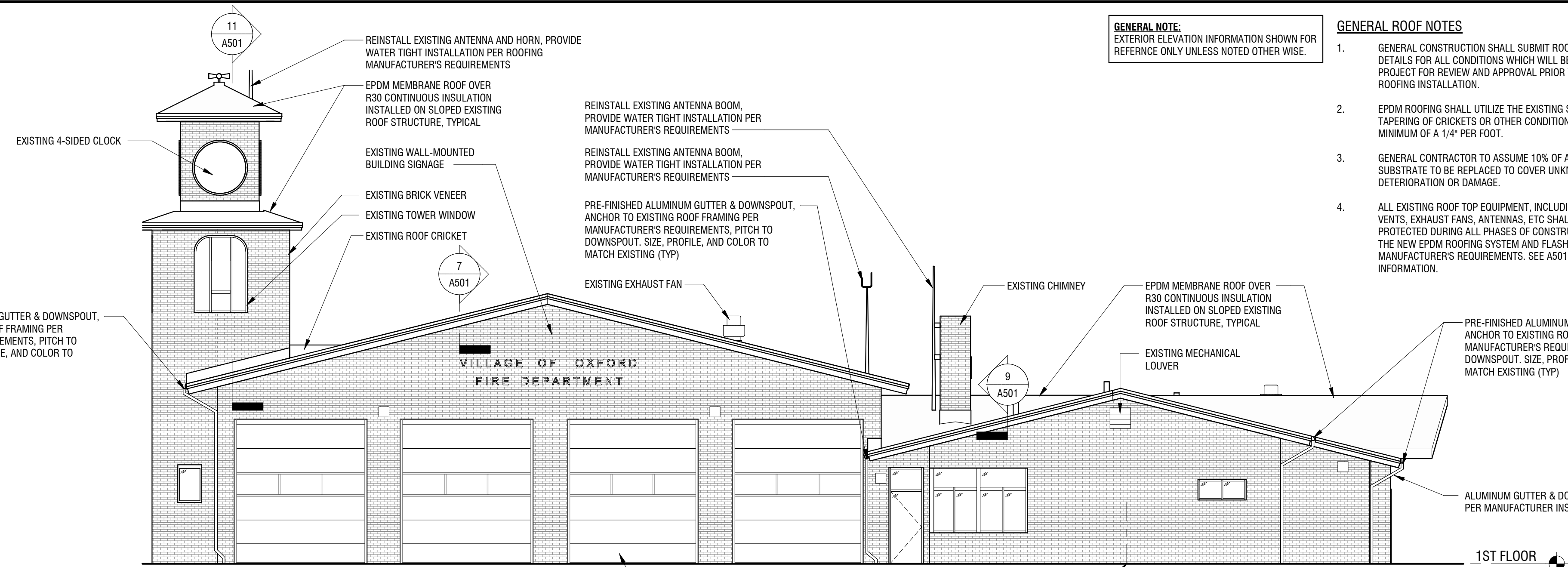
DRAWING NUMBER:

A201

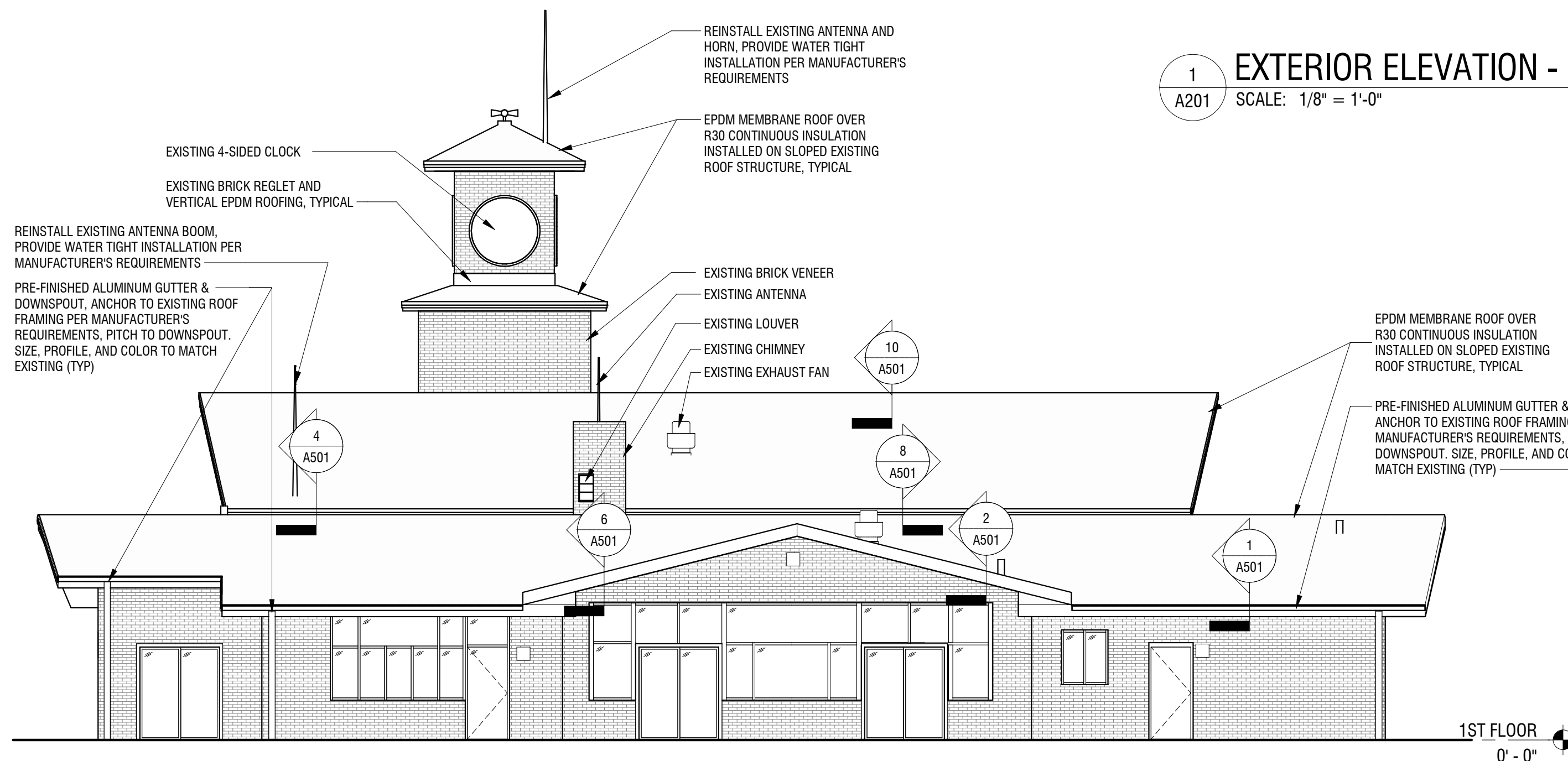
GENERAL NOTE:
EXTERIOR ELEVATION INFORMATION SHOWN FOR REFERENCE ONLY UNLESS NOTED OTHERWISE.

GENERAL ROOF NOTES

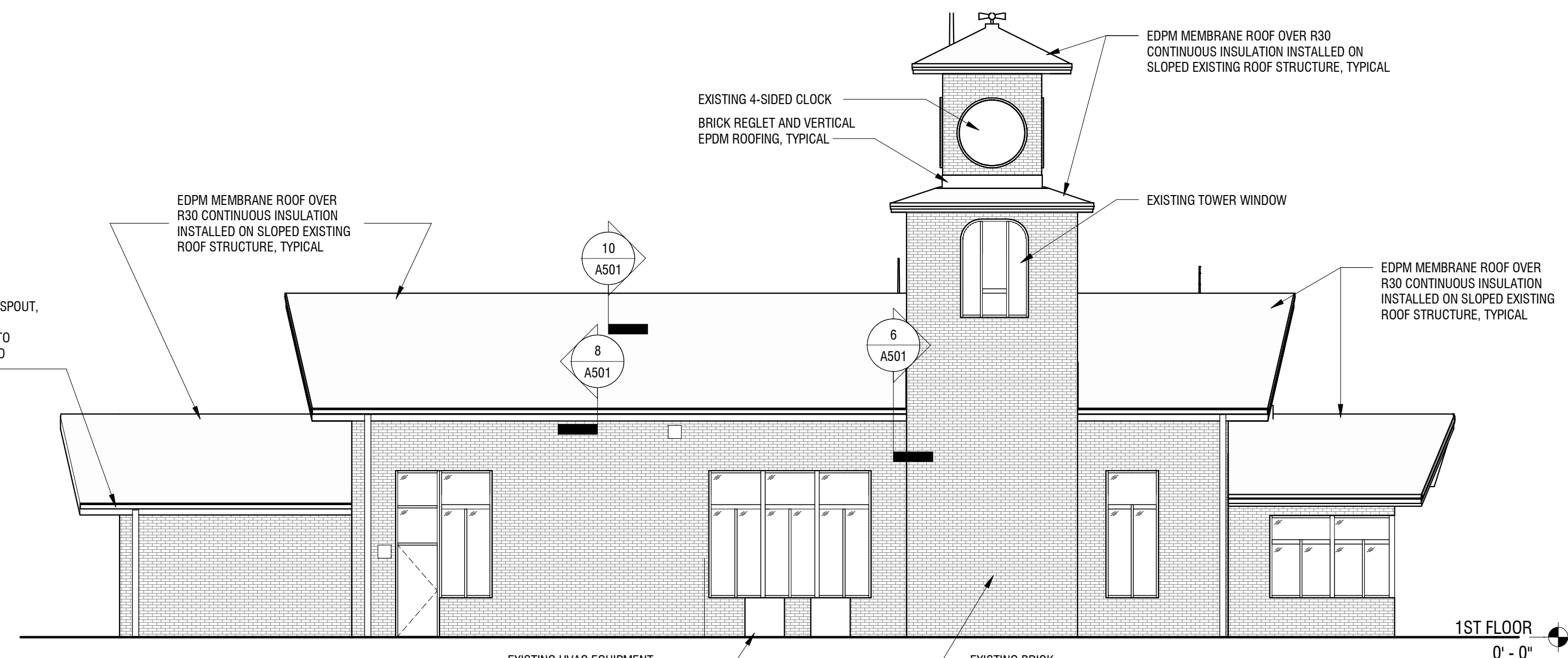
- GENERAL CONSTRUCTION SHALL SUBMIT ROOFING MANUFACTURERS DETAILS FOR ALL CONDITIONS WHICH WILL BE ENCOUNTERED ON THIS PROJECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH ROOFING INSTALLATION.
- EPDM ROOFING SHALL UTILIZE THE EXISTING SLOPED ROOF SYSTEM. TAPERING OF CRICKETS OR OTHER CONDITIONS SHALL BE INSTALLED AT A MINIMUM OF A 1/4" PER FOOT.
- GENERAL CONTRACTOR TO ASSUME 10% OF ALL EXISTING PLYWOOD SUBSTRATE TO BE REPLACED TO COVER UNKNOWN POTENTIAL PLYWOOD DETERIORATION OR DAMAGE.
- ALL EXISTING ROOF TOP EQUIPMENT, INCLUDING, BUT NOT LIMITED TO, PIPE VENTS, EXHAUST FANS, ANTENNAS, ETC SHALL BE SALVAGED AND PROTECTED DURING ALL PHASES OF CONSTRUCTION. EACH SHALL HAVE THE NEW EPDM ROOFING SYSTEM AND FLASHINGS INSTALLED PER THE MANUFACTURERS REQUIREMENTS. SEE A501 FOR ADDITIONAL INFORMATION.



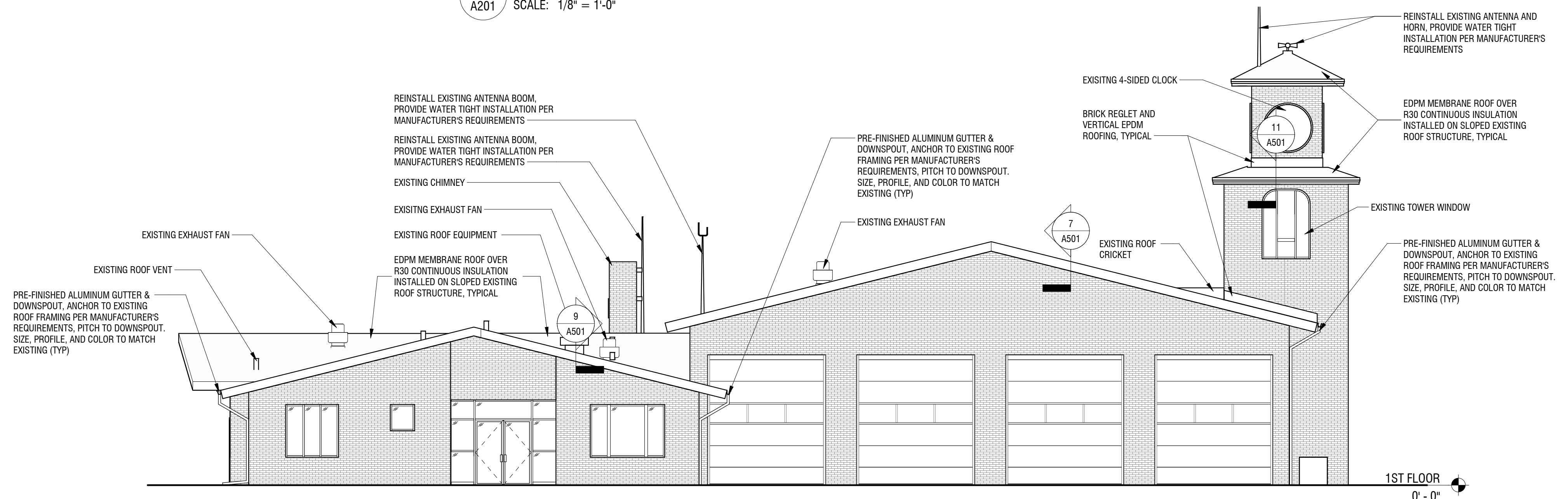
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EXP: 12.31.2024

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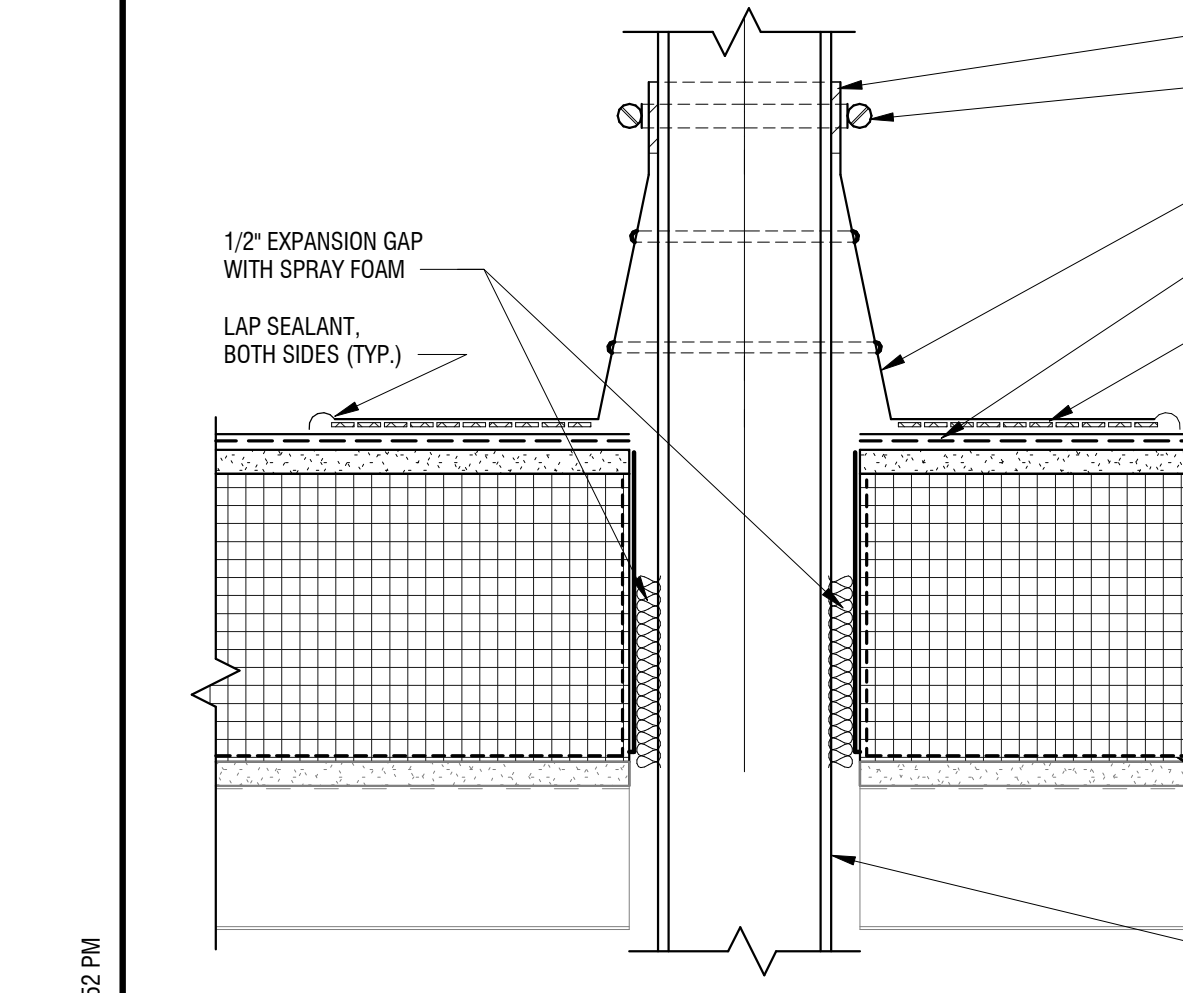
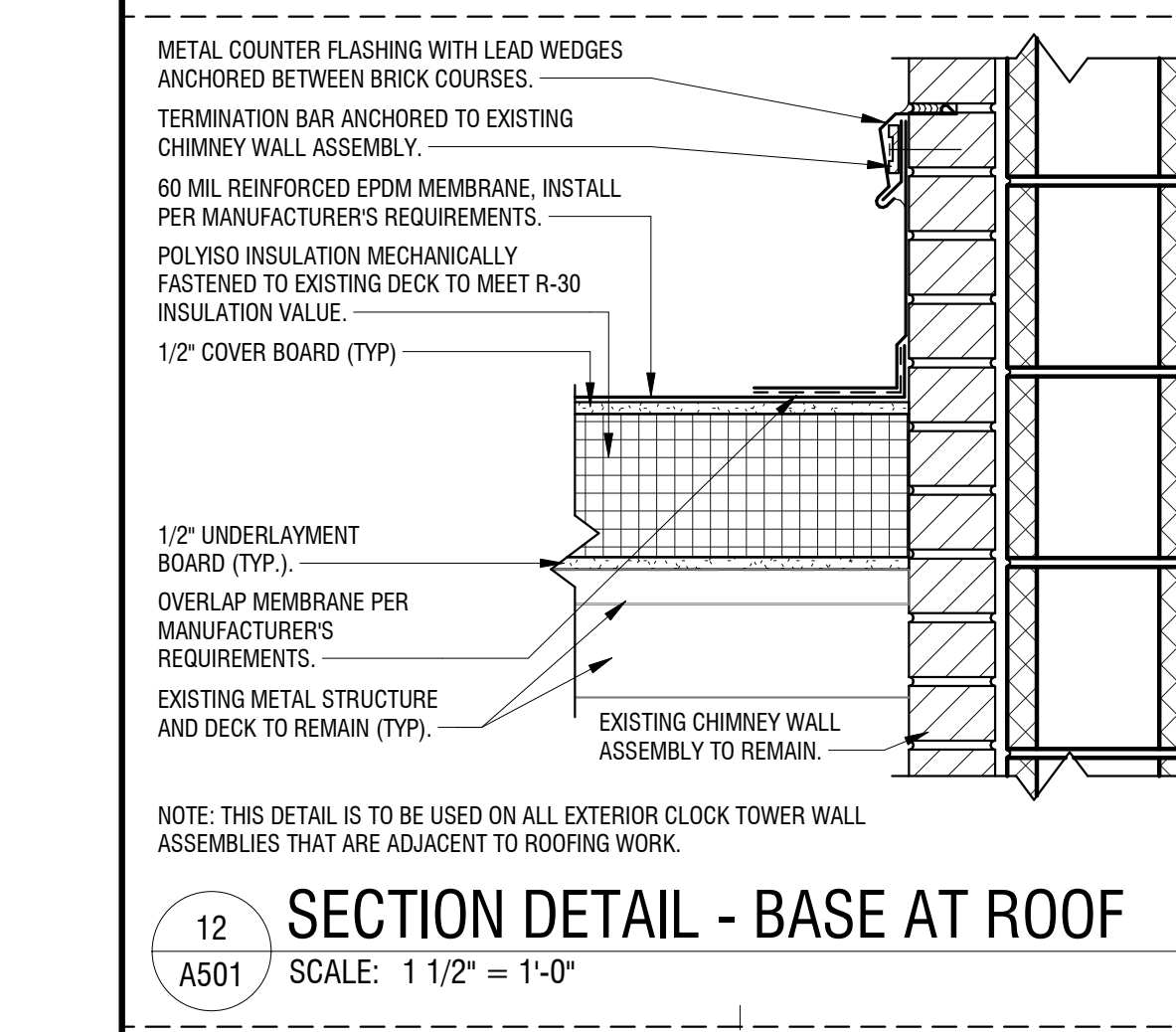
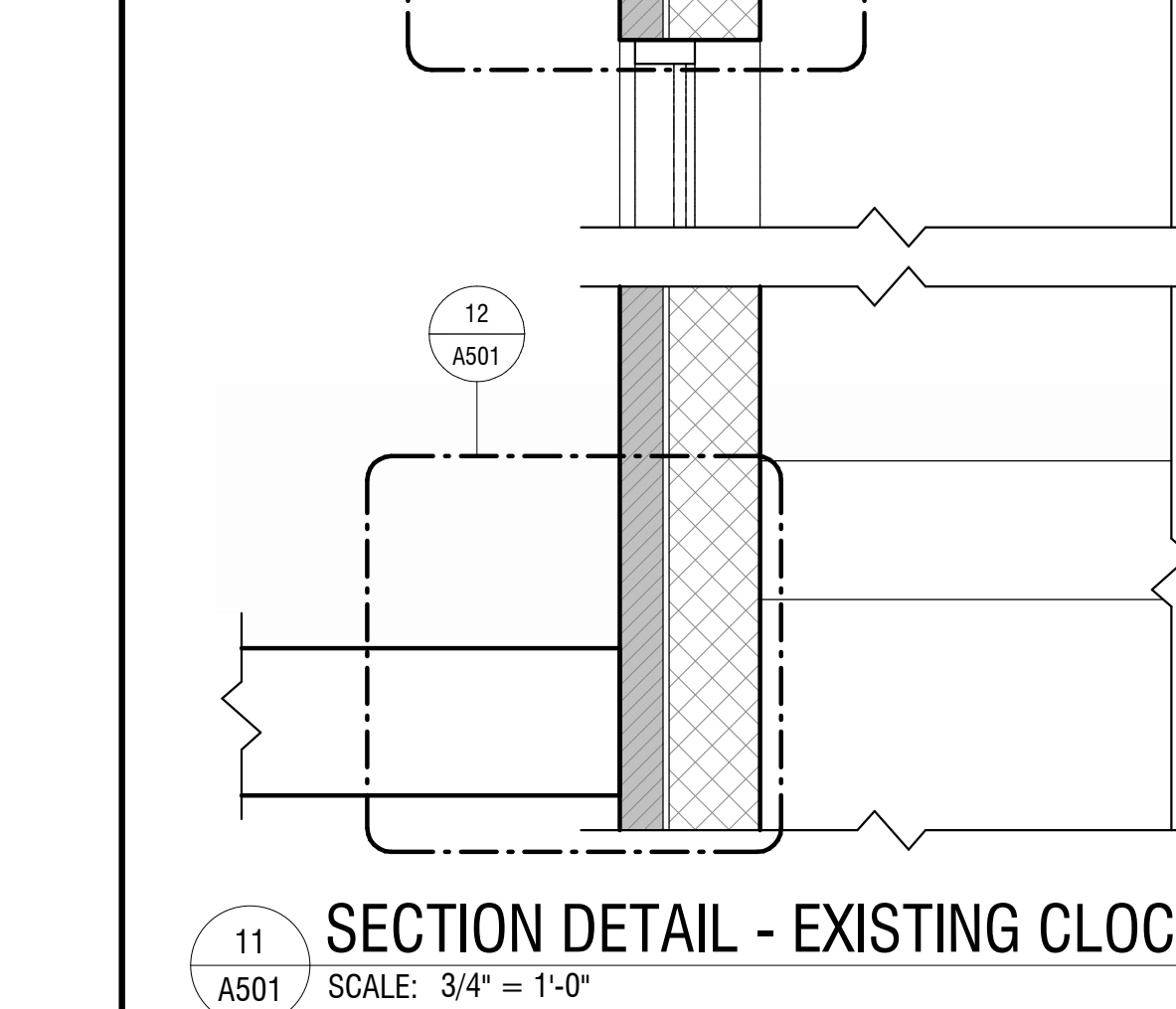
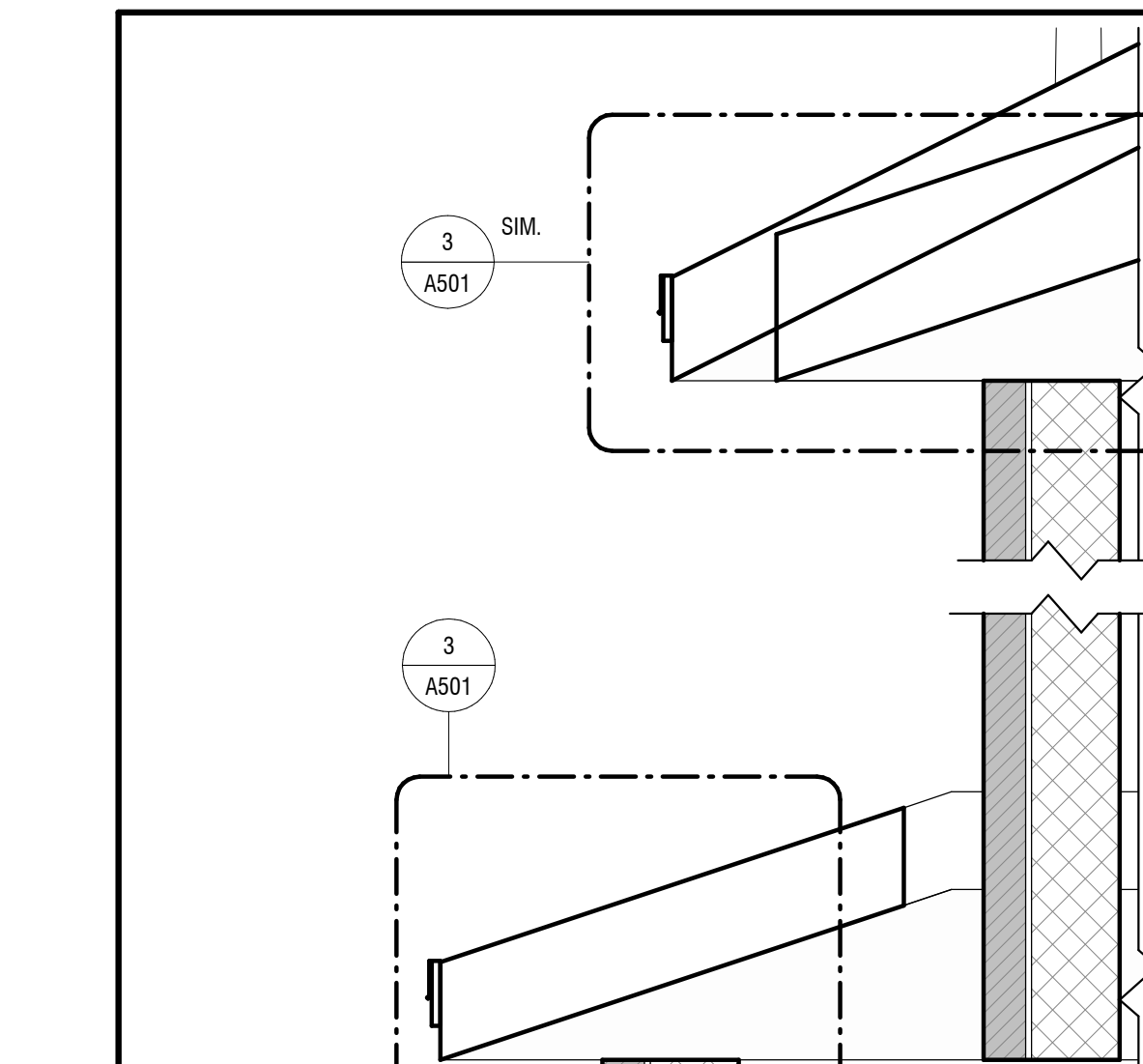
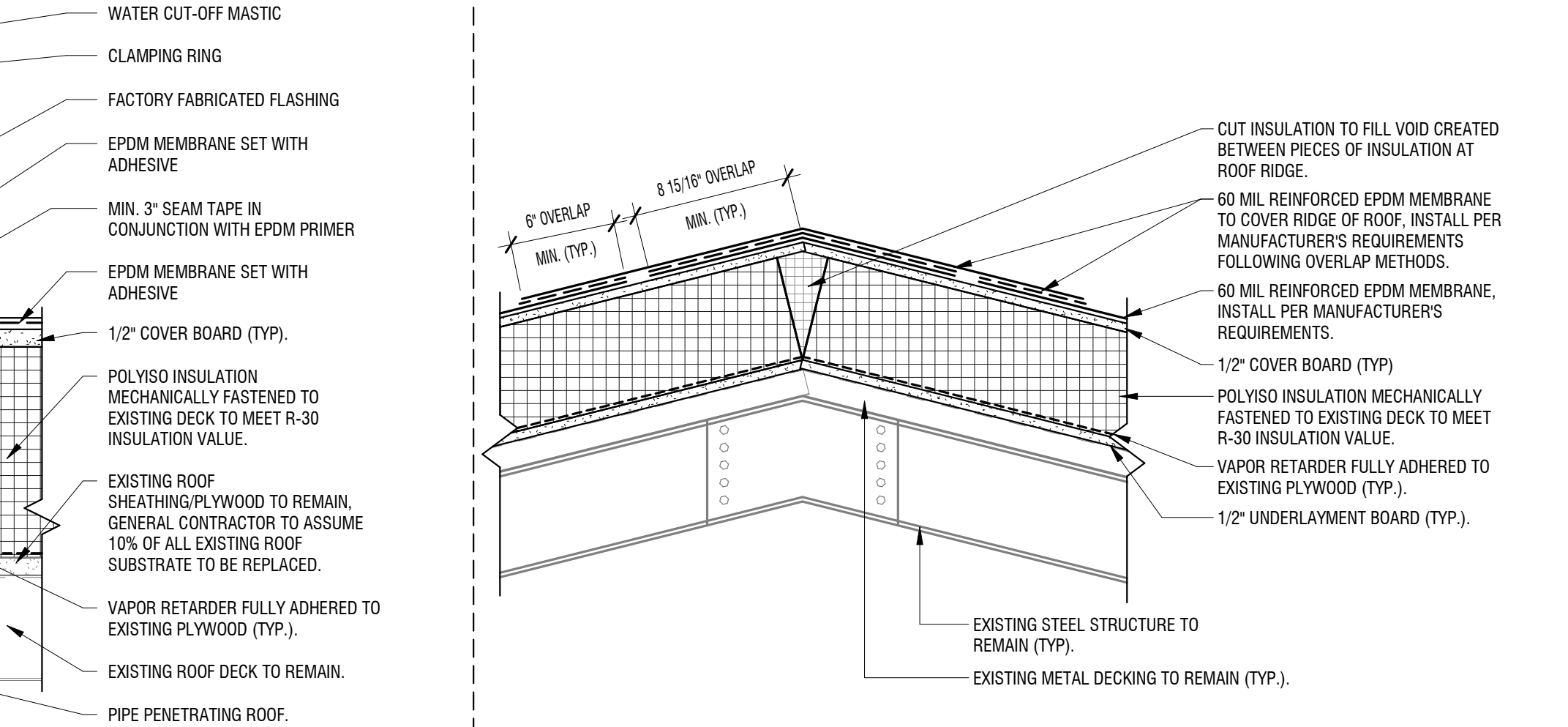
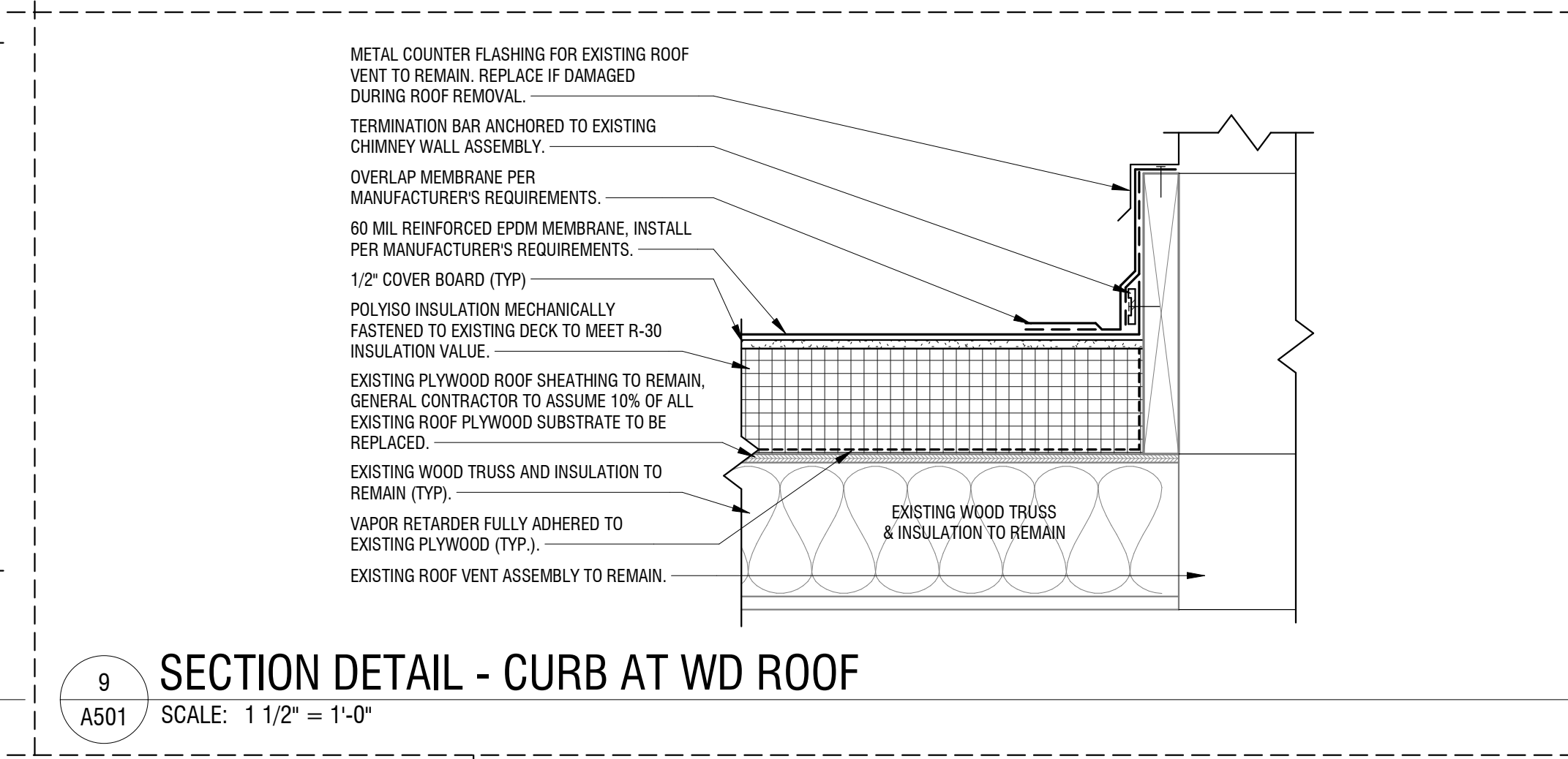
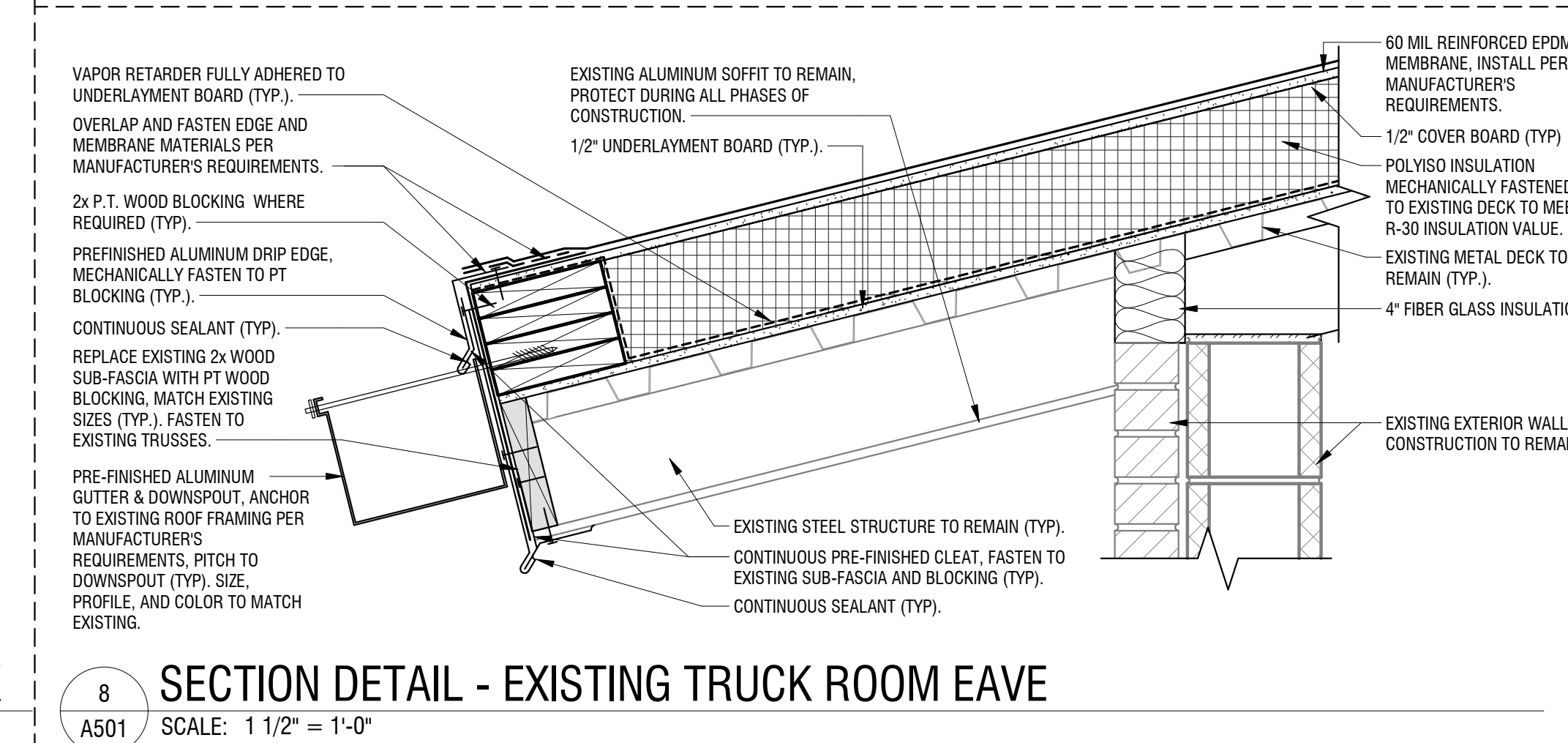
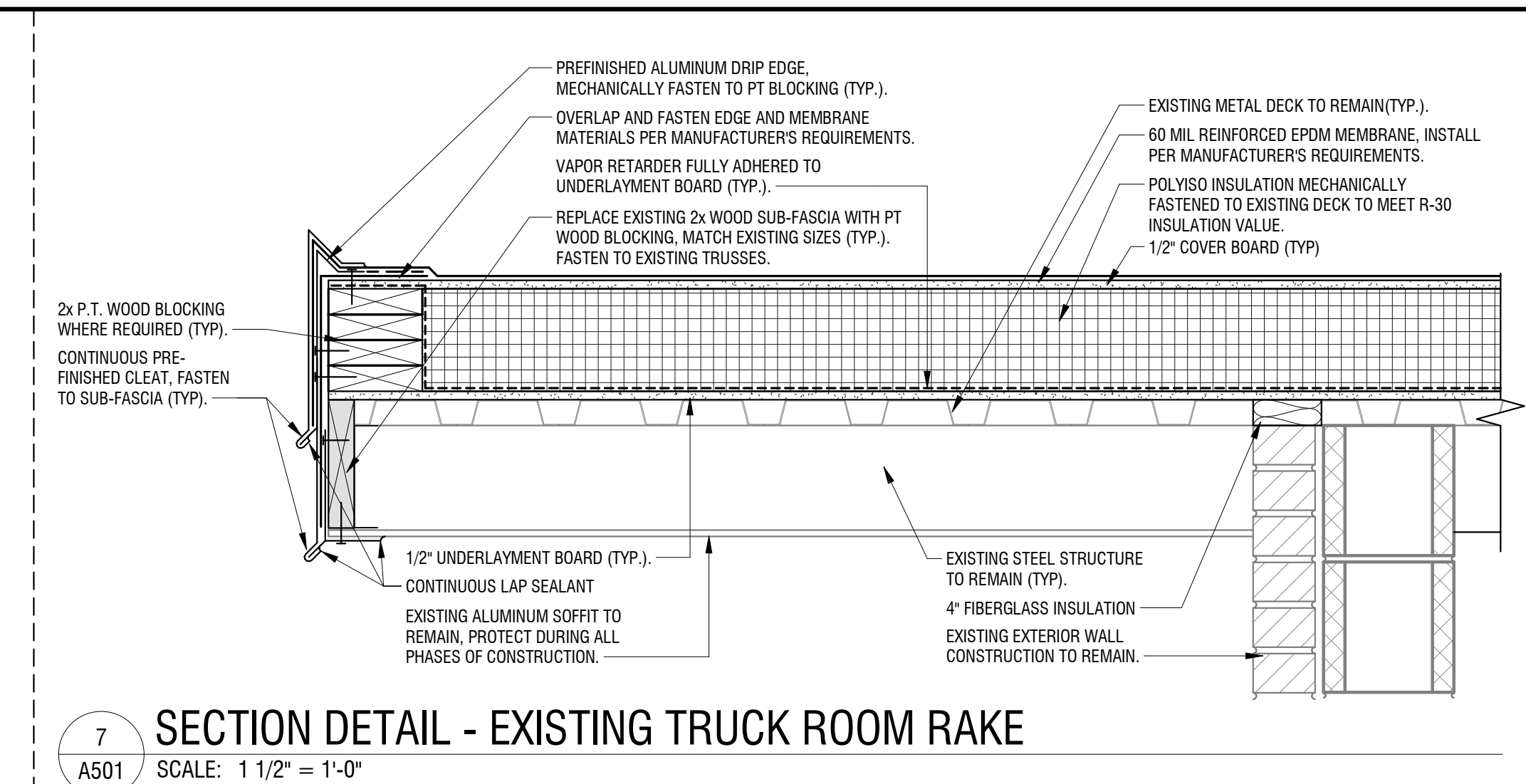
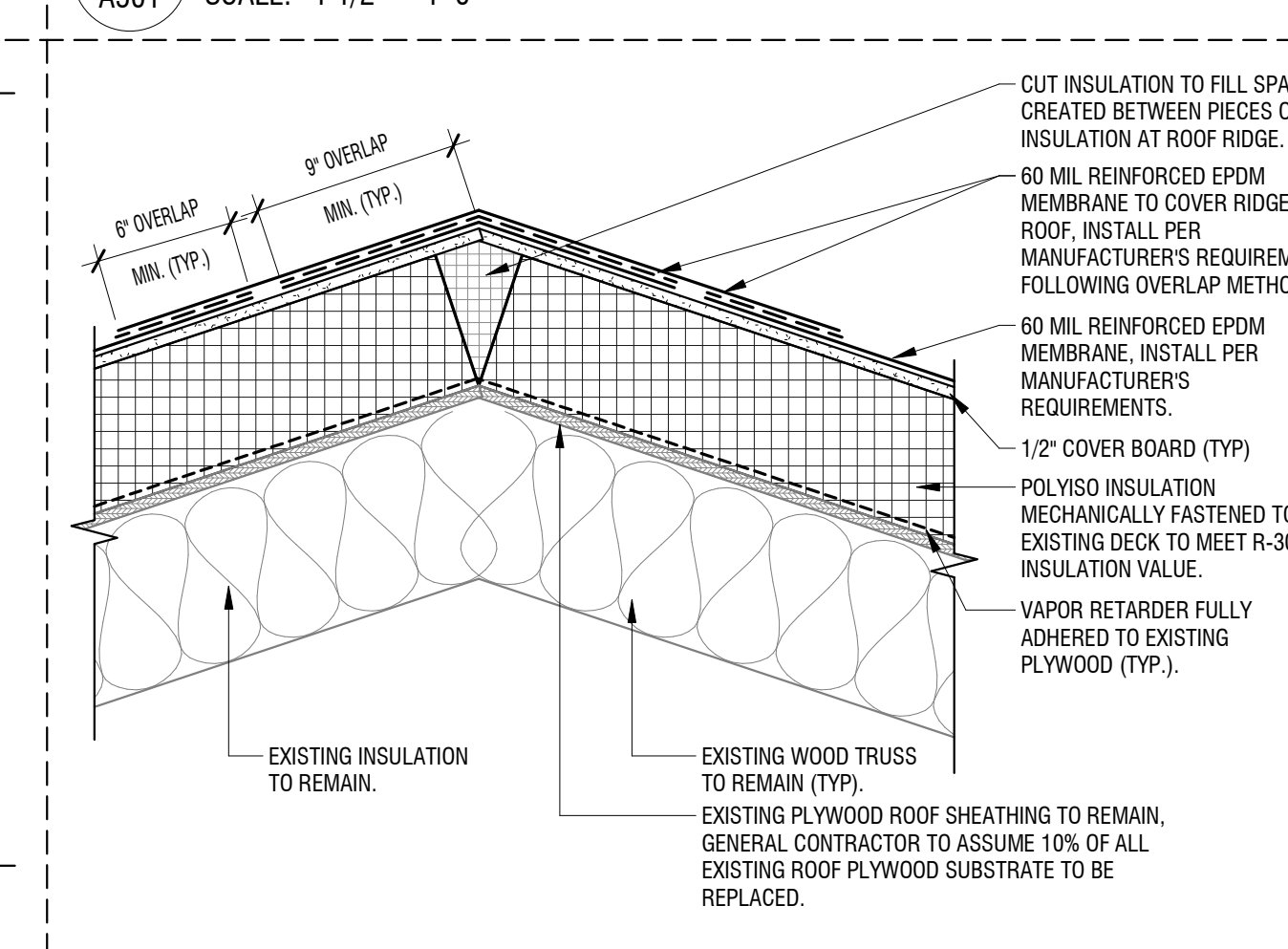
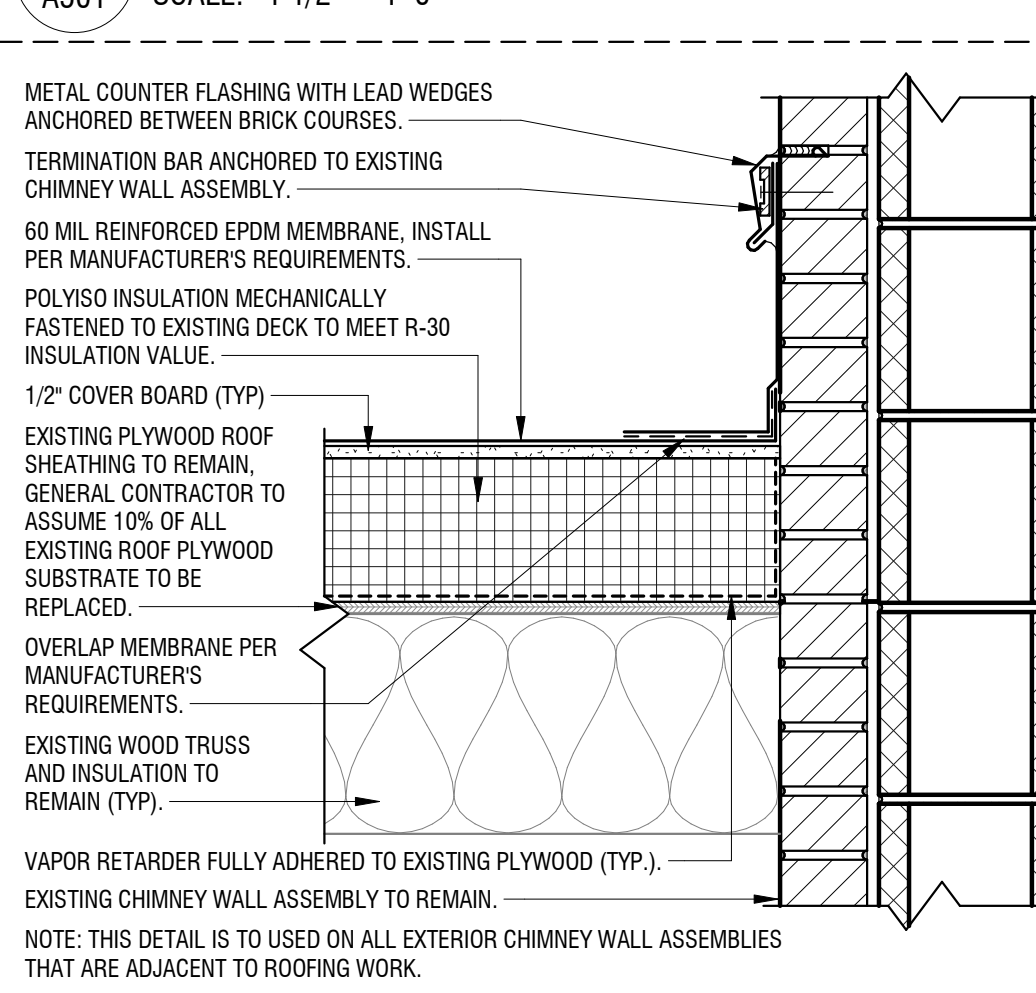
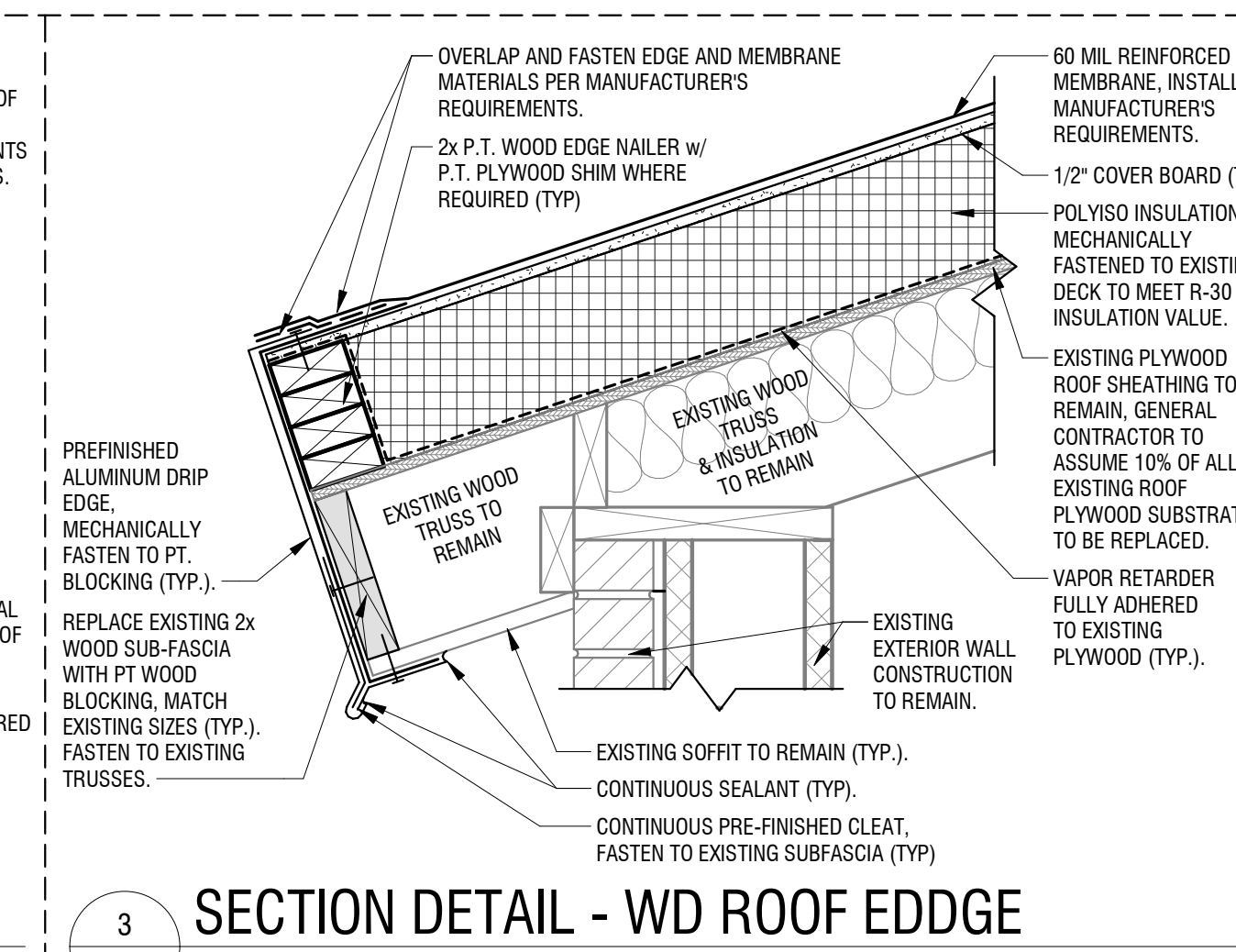
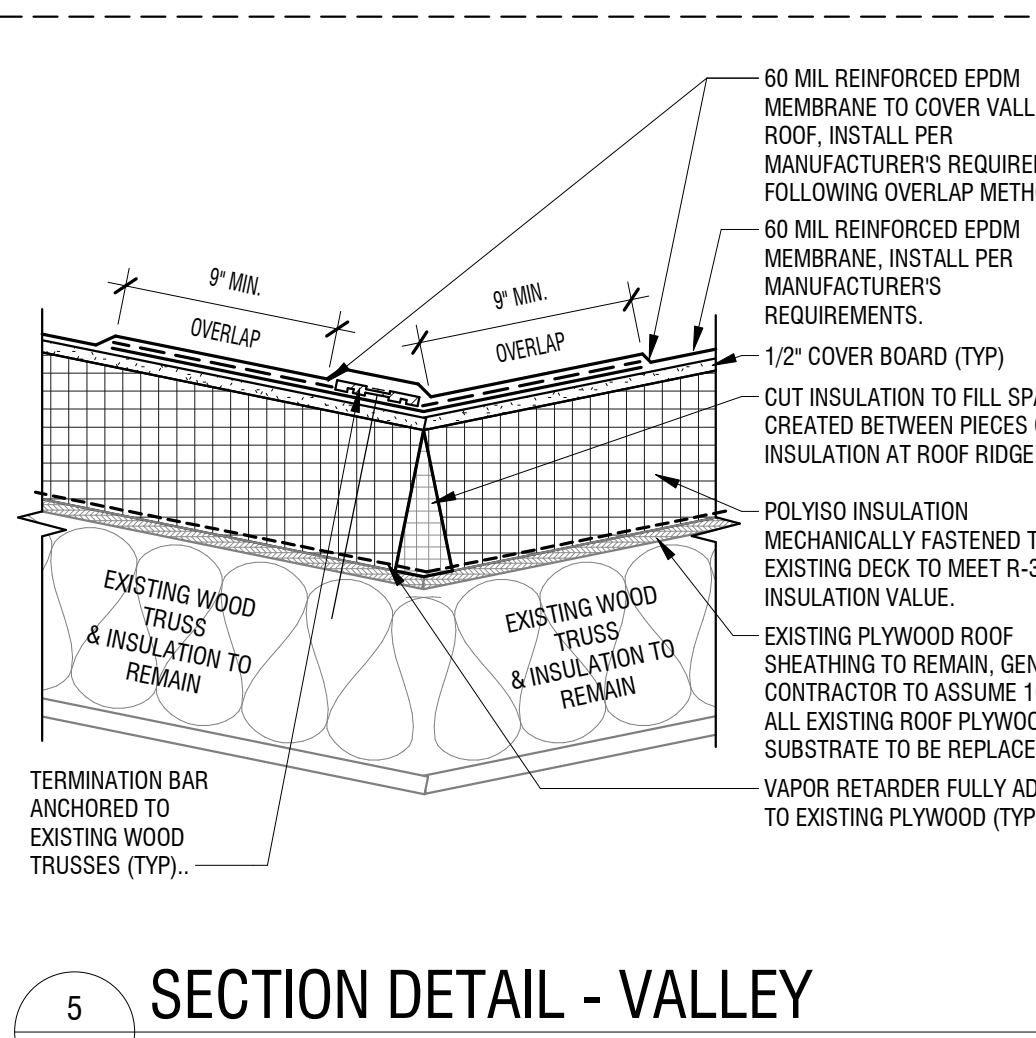
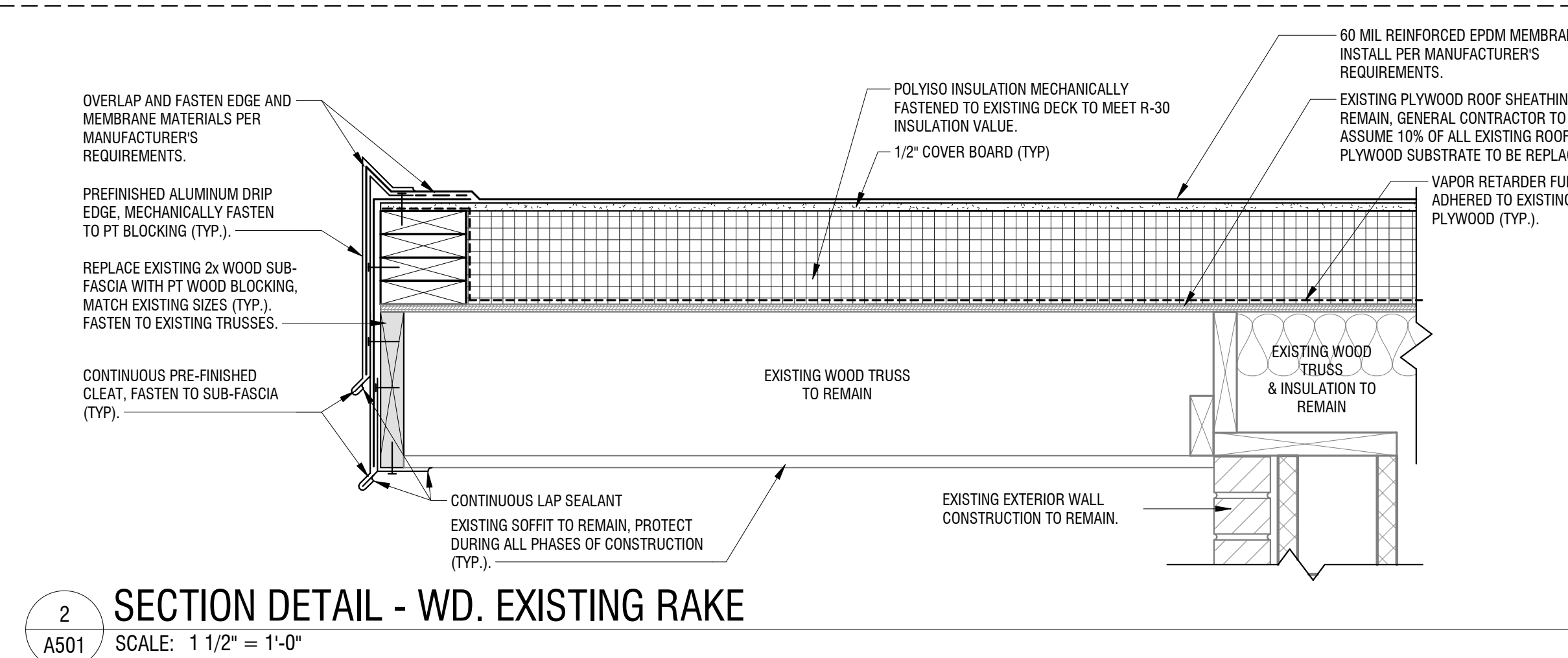
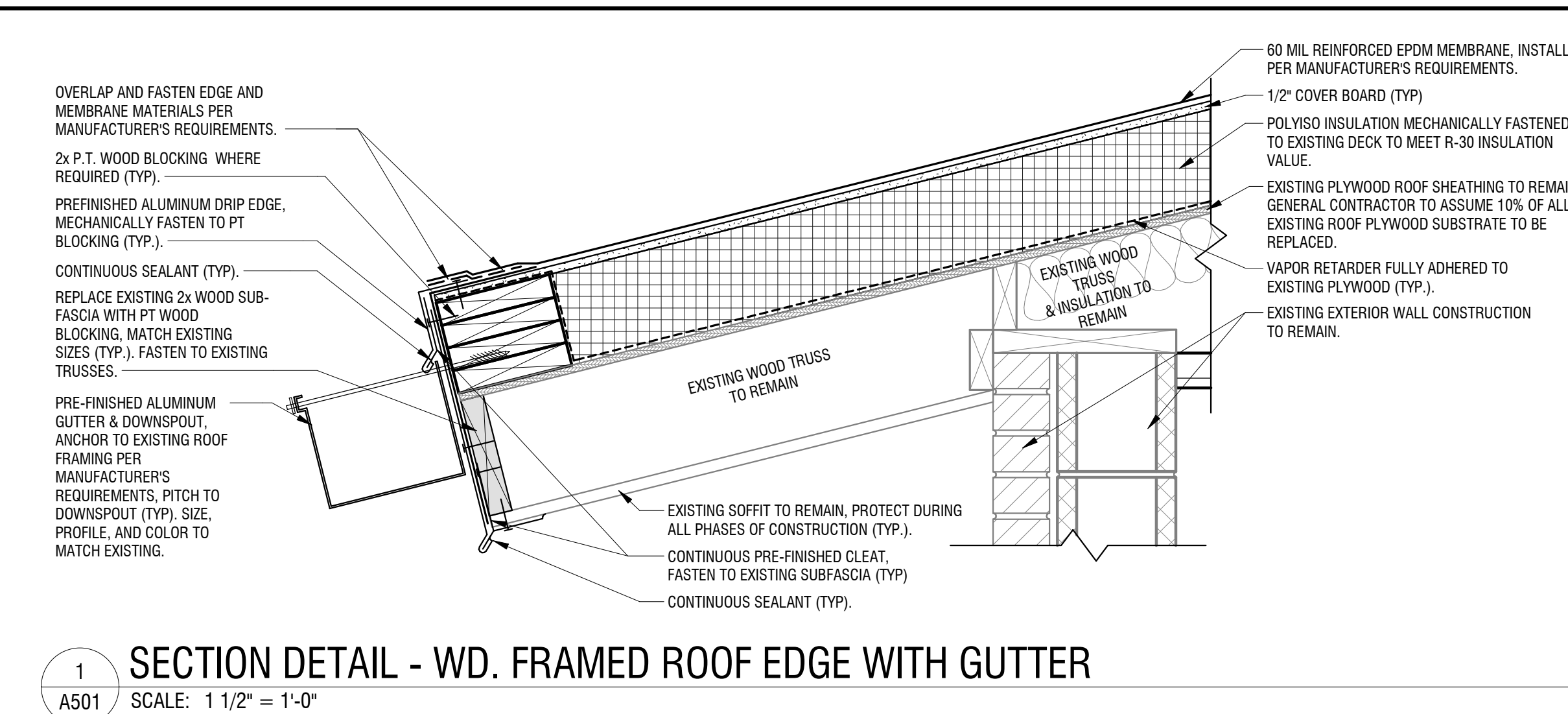
DATE: SEPTEMBER 24, 2024

DRAWING NAME:

ROOF DETAILS

DRAWING NUMBER:

A501



09/25/2024, 2:07:52 PM